

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4

*Resource Name or #: K30

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NE ¼ of SW ¼ and NW ¼ of SE ¼ of Sec.19; Mt. Diablo B.M.

c. Address 8673 Salmon Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-126-024

*P3a. Description: This property includes three small residences. The unpaved lot is used as an informal trailer park. The trailers, though mainly recreational, are used as long-term residences. Some native trees survive on the lot. (continued)

*P3b. Resource Attributes: (HP2) single family property; (HP39) other – trailer park

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-126-024, Building A, View NE.
Roll KBB4, Fr. 7. 11-14-02, 2:55 PM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

1955 USGS Map

c.1950-1955 field inspection

*P7. Owner and Address:

Barber; Ruth G.

DBA Hand O Fortune Court

P.O. Box 656 Kings Beach, CA. 96143

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P. O. Box 734

Minden, NV 89423

*P9. Date Recorded: 11-14-02

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:
Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 4

*Resource Name or # K30

B1. Historic Name: Unknown

B2. Common Name: R. Barber Houses

B3. Original Use: Residence

B4. Present Use: Residence and Trailer Park

*B5. Architectural Style: Vernacular with Rustic elements

*B6. Construction History: Not in assessor's data, but buildings are shown on 1955 USGS map.

Building A appears to be unmodified.

The only modification to Building B appears to be the fiberglass door (c. 1990s).

Building C has had all windows and the door replaced c.1990s.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Trailer Park

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type and does not exhibit any research potential. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References:

1955 USGS Lake Tahoe 15' map

B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

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Resource Name or #K30

*Recorded by R. Reno and E. Bennett

Date 01-17-03

☒ Continuation ☐ Update

***P3a.**

Building A is a one-story rectangular plan wood frame house. It has an end-gable roof with open eaves and exposed rafters. Walls are sheathed with wood V-rustic siding. Windows are wood 1/1 sash. The door is wood panel with one light. It has a small open front porch. The building appears to be unmodified.

Building B is a one-story L-plan wood frame house. It has a combination gable and shed roof with open eaves and exposed rafters, clad with wood shake shingles. Walls are sheathed with wood board and batten and with vertical bark strips. The building has casement windows. The door is not visible due to a corrugated fiberglass cover that appears to serve as a storm door. Aside from the door, the building appears to be unmodified. If it was built in stages, such additions appear to be historic.

Building C is a one-story rectangular plan wood frame house. It has a cross-gable roof with open eaves and exposed rafters, clad with wood shake shingles. Walls are sheathed with wood lap and vertical bark siding. Windows are recent metal sliders. The recent door is flush. An open porch is on the west end of the house at the entrance.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

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Resource Name or # K30

*Recorded by R. Reno and E. Bennett

Date: 01-17-03

☒ Continuation ☐ Update

P5a: Photo



090-126-024, Building B, View NE. Roll KBB6, Fr. 26. 01-17-03, 10:28 AM.



090-126-024, Building C, View NE. Roll KBB6, Fr. 27. 01-17-03, 10:29 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K31

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
And

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992

T 16N; R 18E; NW ¼ of SE ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8679 Salmon Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-126-021

*P3a. **Description:** Rectangular plan, 1½-story wood frame building with a gable roof. Roof is covered with wood shake shingles, exposed rafter tails. Walls are sheathed with beveled wood clapboard siding. A concrete block chimney is located offset in one gable end. Windows reflect a mixture of fixed and aluminum framed horizontal sliders. Additions are at each gable end of the building. On one end, a small stoop has been added adjacent to a doorway. A window in the half storey gable end has been converted to a doorway and a shed addition has been added below. The roof of the shed addition acts as a deck. The addition at the other end is a covered entryway clad in V-rustic siding. This cover has a shed roof covered with composition shingles. Windows in the addition are metal framed horizontal sliders. A sliding glass door is also present. The foundation consists of poured concrete stem walls.

*P3b. **Resource Attributes:** HP2 (single family property)

*P4. **Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

*P6. **Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1960 Assessor's year built.

*P7. **Owner and Address:**

Schneider: Michael

Address unknown

*P8. **Recorded by:** C. Zeier, R. Reno

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. **Date Recorded:** 08-26-05

*P10. **Survey Type:**

Intensive Architectural

*P11. **Report Citation:** J.W. Snyder, R. L. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc., Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI# _____

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K31

B1. Historic Name:

B2. Common Name: Schneider House

B3. Original Use: Residence

B4. Present Use: Vacant

*B5. Architectural Style: Vernacular

*B6. Construction History: Assessor's year built and effective year is 1960.

Additions appear to date to the 1960s.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date:

Original Location:

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Applicable Criteria None

Period of Significance

Property Type

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type with diminished integrity due to alterations and additions. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's records

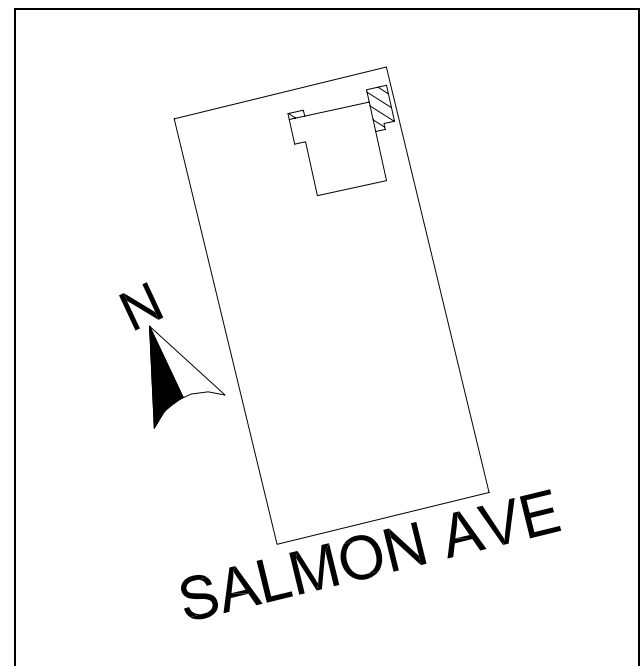
B13. Remarks:

Shaded area on sketch map is an addition.

*B14. Evaluator: J. W. Snyder, P.S. Preservation Services
P.O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

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HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

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*Resource Name or #: K32

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NE ¼ of SW ¼ and NW ¼ of SE ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8675 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-133-015

*P3a. Description: This property includes a store, three small residences, a residential building converted to storage, and two sheds. The lot retains some native trees despite use of much of the grounds for parking and driveways. Building A is a 1½-story rectangular plan wood frame store. It has a side-gable roof with open eaves and fascia. Shed dormers have paired windows. Walls are clad with painted wood drop siding. Windows are 6/1 and 4/1 wood double-hung with lambs-tongue drops, mostly mounted in pairs. Doors include an original panel with one light, recent flush, recent French, and recent X-panel with lights. A small shed addition that appears to be old is on the east side. This is a small utility room with plank door and six pane casement windows. A recent small shed-roofed attachment is also on the west side, adjacent to the fireplace. An external brick fireplace is on the west gable end. (continued)

*P3b. Resource Attributes: (HP2) single family property; (HP4) ancillary building, (HP6) 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-133-015, Building A, View NE.
Roll KBB3, Fr. 28. 11-14-02, 1:34 PM.

*P6. Date Constructed/Age and
Sources: ☒ Historic

☐ Prehistoric

☐ Both

c. 1940s based on field inspection

***P7. Owner and Address:**

Smith; Susan F.
33596 Sundown Court
Dana Point CA. 92629

*P8. Recorded by: R. Reno, E. Bennett
Geoarch Sciences, Inc.
P.O. Box 734
Minden, NV 89423

*P9. Date Recorded: 11-14-02

*P10. Survey Type:
Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:
Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 5

*Resource Name or # K32

B1. Historic Name: Unknown

B2. Common Name: S. Smith Buildings

B3. Original Use: Unknown, but likely a residence

B4. Present Use: Business and Residential

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: The assessor has no dates for these buildings. At least one building, most likely Building A, is shown on the 1955 USGS map. Construction details indicate that all buildings were constructed in the 1940s.

Building A has been modified with one c.1940s shed addition, a small recent (c.1990s) shed, and two doors.

Building B appears to be constructed of two formerly independent buildings. No alterations appear to have been made since this joining.

Buildings C and D appear to be unmodified.

Building E appears to be unmodified except for some porch lattice.

Both sheds appear to be unmodified.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Two sheds.

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Applicable Criteria None

Period of Significance

Property Type

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References:

1955 USGS Tahoe 15' map

B13. Remarks:

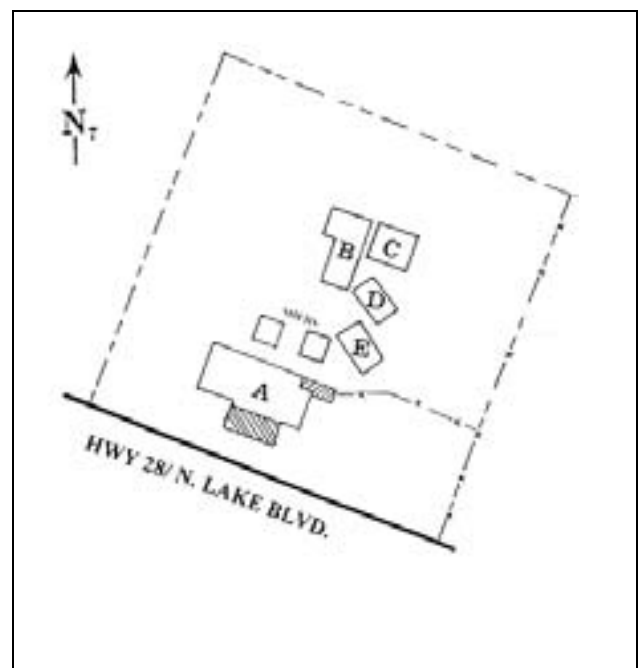
Additions are shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
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Trinomial _____

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Resource Name or #K32

*Recorded by R. Reno and E. Bennett

Date 11-14-02

☒ Continuation ☐ Update

***P3a.**

Building B is a one-story L-plan wood frame house now used for storage. It has a cross-gable roof with open eaves and exposed rafters, clad with milled wood shingles. Walls are sheathed with painted V-rustic siding. Windows are 4/2 and 1/1 wood double-hung. Doors are flush. Carriage-house doors are made of V-rustic siding. This building appears to have been made by joining two small rectangular buildings. A covered porch is on the east side of the building.

Building C is a one-story rectangular plan wood frame house. It has an end-gable roof with exposed rafters and open eaves, clad with composition shingles. Windows are 4/1 wood double-hung and the door is clad with V-rustic siding. It has a small covered entrance porch with a shed roof. The building appears to be unmodified.

Buildings D and E are nearly identical. They are one-story rectangular plan wood frame houses. They have end-gable roofs with exposed rafters and open eaves, clad with milled wood shingles. Windows are 4/1 and 1/1 wood double-hung and wood four-light casement. Doors are clad with V-rustic siding. Each building has a small covered entrance porch with a shed roof. The buildings appear to be unmodified except for some wood lattice attached to the porch on Building E.

There are also two small outbuildings located immediately north of Building A. The eastern of these is a shed with a gable-roof clad with milled wood shingles. It is sheathed with wood drop rustic siding. The western of these appears to formerly have been a concession stand, since it has horizontal full-length plank shutters. It has a gable roof clad with aluminum panels. Walls are clad with horizontal board and batten siding.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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Primary # _____
HRI # _____
Trinomial _____

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Resource Name or # K32

*Recorded by R. Reno and E. Bennett

Date: 11-14-02

☒ Continuation ☐ Update

P5a: Photos



090-133-015, Building B, View NE. Roll KBB3, Fr. 29. 11-15-02, 1:36 PM.



090-133-015, Rear of Building B at right, Building C to left.
Roll KBB6, Fr. 25. 01-17-03, 10:15 AM.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

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Resource Name or # K32

*Recorded by R. Reno and E. Bennett

Date: 11-14-02

☒ Continuation ☐ Update

P5a: Photos



090-133-015, Buildings D and E, View NW.
Roll KBB6, Fr. 29. 01-17-03, 12:30 PM.



090-133-015, Sheds at rear of Building A, View SE.
Roll KBB6, Fr. 30. 01-17-03, 12:35 PM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K33

P1. Other Identifier: Kings Beach Miniature Golf

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
And

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N; **R** 18E; NW ¼ of SE ¼ of Sec.19 ; Mt. Diablo **B.M.**

c. Address 8681 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-133-012

***P3a. Description:** The property is a wooded lot occupied by a meandering miniature golf course. Two small buildings are present. The restroom occupies a rectangular plan wood-frame building. It has a side-gable roof clad with composition shingles. Walls are sheathed with wood V-rustic siding. Windows are metal sliders.

A small wood-framed entrance kiosk has a mansard roof with wood shingles. Walls are sheathed with wood V-rustic siding. Windows are fixed with wood frames.

***P3b. Resource Attributes:** HP25 (Amusement Park)

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

Overview, view N.

Roll KBB16, Fr. 1, 8-26-05, 9:05am

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's year built: 1958

***P7. Owner and Address:**

Lanini: Jeffrey and Krista

Address unknown

***P8. Recorded by:** C. Zeier, R. Reno

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 08-26-05

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder and R. L. Reno. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc., Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI# _____

*NRHP Status Code 6Z

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*Resource Name or # K33

B1. Historic Name: Kings Beach Miniature Golf

B2. Common Name: Kings Beach Miniature Golf

B3. Original Use: Miniature golf course

B4. Present Use: Miniature golf course

*B5. Architectural Style: Vernacular

*B6. Construction History: Assessor's year built: 1958

The golf course has been extensively remodeled c.1990s, including application of artificial grass.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Golf course adornments, including a totem pole and giant dice.

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of a miniature golf course. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

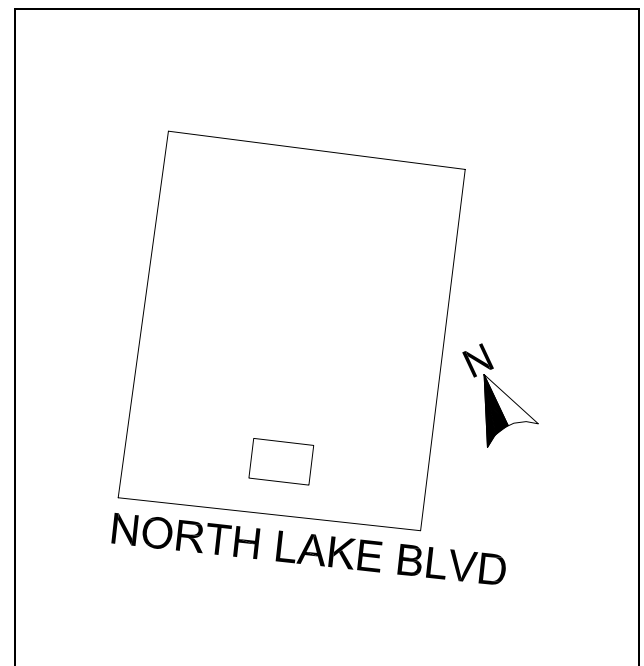
*B12. References: Assessor's records

B13. Remarks:

*B14. Evaluator: J. W. Snyder, P.S. Preservation Services
P.O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

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Resource Name or # K33

*Recorded by: C. Zeier and R. Reno

Date: 08-26-05

☒ Continuation ☐ Update

P5. Photo:



Restroom, view NNW. Roll KBB1, Fr. 11, 10-30-02, 10:25am.



Entry kiosk, view NNW. Roll KBB16 Fr. 2, 8-26-05, 9:10am.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K34

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NW ¼ of SE ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8684 Salmon Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-133-008

*P3a. Description: This building is a one-story rectangular plan wood frame apartment building. It has a side-gable roof with exposed rafters and open eaves, clad with composition shingles. Walls are sheathed with horizontal painted custom milled 2x8 inch drop rustic siding. Gable ends are sheathed with beaded vertical planks. Windows are metal sliders and doors are flush. A full-length shed-roof porch runs along the east side of the building. Porch pillars are simple. Recent lattice is incorporated into the porch railings and the skirting under the porch is plywood.

*P3b. Resource Attributes: (HP3) multiple family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-133-008, View SW.
Roll KBB4, Fr. 5 11-14-02, 2:45 PM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic
☐ Prehistoric ☐ Both

1955 USGS map
c.1950-1955 field observation

***P7. Owner and Address:**

Smith; Susan F.
33596 Sundown Court
Dana Point, CA. 92629

*P8. Recorded by: R. Reno, E. Bennett
Geoarch Sciences, Inc.
P.O. Box 734
Minden, NV 89423

*P9. Date Recorded: 11-14-02

*P10. Survey Type:
Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K34

B1. Historic Name: Unknown

B2. Common Name: S. Smith Apartments

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Ranch

*B6. Construction History: Assessor provides no dates, but the building is on the 1955 USGS map.
Modifications (c.1990s) include windows, doors, porch rail and porch skirt.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type with diminished integrity due to alterations and additions. Application of new windows, new doors, new porch rail, and a new porch skirt has reduced the integrity of design, materials, and workmanship, and severely compromised integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References:

1955 USGS Tahoe 15' map

B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K35

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NW ¼ of SE ¼ of Sec .19 ; Mt. Diablo B.M.

c. Address 8771 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-192-003

*P3a. **Description:** This building is a 1½ story rectangular plan wood frame house. It has a cross-gable roof with exposed rafters and open eaves, clad with composition shingles. Walls are sheathed with milled wood shingles and wood V-rustic siding. Windows are wood, including 1/1 double-hung and paired four light casement. The doors are sheathed in log cabin siding. A small rear addition appears to be old. Native trees are on the grounds.

*P3b. **Resource Attributes:** (HP2) single family property

*P4. **Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

090-192-003, View NE.

Roll KBB3, Fr.30. 11-14-02, 1:40 PM.

*P6. **Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Effective Year: 1940

c.1930s field observation

*P7. **Owner and Address:**

Smith; C Kelly TRS.

P.O. Box 1178 Carnelian Bay CA. 96140

*P8. **Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. **Date Recorded:** 11-14-02

*P10. **Survey Type:**

Intensive Architectural

*P11. **Report Citation:** J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record

☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K35

B1. Historic Name: Unknown

B2. Common Name: C. Smith House

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional with Rustic details

*B6. Construction History: Assessor's Effective Year: 1940. No Year Built is in the Assessor's database.

The only modification appears to be a small (c.1940s) addition.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the pre-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is a small and unremarkable example of a small vacation cottage. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

B13. Remarks:

The addition is shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2 *Resource Name or #: K36

P1. Other Identifier: Tacos Jalisco

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo **B.M.**

c. Address 8717 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-192-004

***P3a. Description:**

This property includes a large heavily modified restaurant (Building A) with attached housing and an outbuilding. Portions of the lot not occupied by the buildings are paved for parking and driveways. A few native trees remain.

Building B is a small one-story rectangular plan wood frame outbuilding. It has a side-gable roof with open eaves and exposed rafters, except where a portion of fascia has recently been added. The roof is clad with composition shingles. Walls are sheathed with painted V-rustic wood siding. Windows are shuttered. The doors are wood panel. The building is mounted on mass-produced truncated pyramid-shaped cast concrete piers. The building has symmetrically-placed twin doors and venting suggesting former use as a restroom.

***P3b. Resource Attributes:** (HP4) ancillary building; (HP6) 1-3 story commercial building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

Building B; View SW. Roll KBB10,
Fr.20. 03-12-03, 1:50 PM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

c. late 1940s based on construction details.

***P7. Owner and Address:**

Pardini General Partnership
11088 Rough & Ready Hwy.
Grass Valley, CA. 95945

***P8. Recorded by: R. Reno, E. Bennett**

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 03-12-03

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K36

B1. Historic Name: Unknown

B2. Common Name: Tacos Jalisco

B3. Original Use: Unknown

B4. Present Use: Restaurant

*B5. Architectural Style: Vernacular (outbuilding is Minimal Traditional)

*B6. Construction History: No dates are in the assessor's database. Massing and details of Building B suggest it dates to late 1940s. Modifications (c.1990s) to Building B are limited to a partial fascia and insertion of concrete piers below the building.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown Date: _____ Original Location: _____

*B8. Related Features: Building A (restaurant, modified to appear less than 30 years old)

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of a small outbuilding. Building B retains its integrity of design, materials, and workmanship since it has seen only limited modification since its original construction. Integrity of location is somewhat in question since it is on new piers. It is not known whether this building has simply had its pier foundation upgraded in place, or been moved to this location from elsewhere. Despite the good condition of Building B, Building A dominates the property, severely compromising integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: None available.

B13. Remarks:

The front addition is shaded on the sketch map.

*B14. Evaluator: J. W. Snyder, P.S. Preservation Services
P.O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K37

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NW ¼ of SE ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8789 Minnow Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-191-018

*P3a. Description: This building is a 1½ story rectangular plan wood frame house. It has a gambrel roof clad with recent standing-seam metal. Walls are covered with V-rustic siding. Windows are wood 6 and 4 light paired casement with operable shutters. The door is wood with lights, partly obscured by a recent storm door. An open porch with wood truss railing runs along the south side of the house. The yard is fairly unaltered and supports native trees.

*P3b. Resource Attributes: (HP2) single family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-191-018 View NW.
Roll KBB4, Fr.1. 11-14-02, 2:20 PM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1945

***P7. Owner and Address:**

Miller; Donald G. et.al.

2346 Wickham

Muskegon MI 49441

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 11-14-02

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K37

B1. Historic Name: Unknown

B2. Common Name: Miller House

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Vernacular

*B6. Construction History: Assessor's Year Built and Effective Year: 1945

Modifications (c.1990s) include a storm door and roofing material.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date:

Original Location:

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type with diminished integrity due to alterations and additions. This house retains its integrity of location, design, setting, materials, workmanship, feeling, and association since it and its lot appear to be nearly unmodified since original construction (except for a storm door and metal roofing). Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K38

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach

Date 1992 T 16N ; R 18E ; NW ¼ of SE ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8827 Minnow Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-191-017

*P3a. **Description:** This building is a one-story H-plan wood frame house. It has a cross-gable roof with open eaves and fascia, clad with milled wood shingles. Walls are clad with lap wood siding and decorative plank gable ends. Windows are all wood, including 1/1 and 2/2 double-hung, pairs of four-light casement, and fixed with one light. The door is recent with diamond-shaped lights. The building appears to have several additions, but all appear historic. The open front deck appears to be recent. Several native trees are on the property.

*P3b. **Resource Attributes:** HP2 (single family property)

*P4. **Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

090-191-017, View NE.

Roll KBB1, Fr.15. 10-30-02, 10:50 AM.

*P6. **Date Constructed/Age and**

Sources:

☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1947

*P7. **Owner and Address:**

Shoberg; John Lewis and Suzanne Marie
P.O. Box 2267 Kings Beach CA 96143

*P8. **Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. **Date Recorded:** 10-30-02

*P10. **Survey Type:**

Intensive Architectural

*P11. **Report Citation:** J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K38

B1. Historic Name: Unknown

B2. Common Name: Shoberg House

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: Assessor's Year Built and Effective Year: 1947

Several additions appear to date to the 1950s. A recent (c.1990s) deck and door have been added.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of a vacation house. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

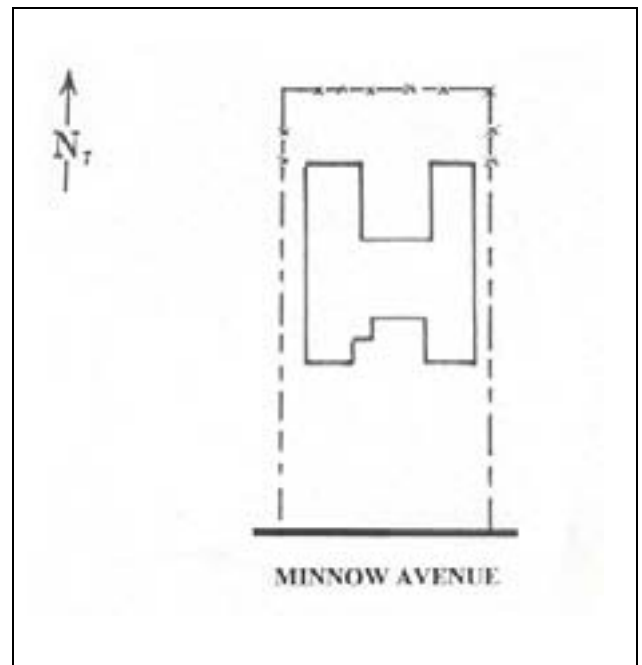
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September, 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K39

P1. Other Identifier: Blue Waters Lodge

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo **B.M.**

c. Address 221 Chipmunk Street

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-192-053

***P3a. Description:** This property includes four apartment buildings on a corner lot. Much of the lot is paved for parking but several native trees survive.

Building D is a one-story rectangular plan wood frame house. It has a gable roof with open eaves and exposed rafters, clad with composition shingles. The building has an inset corner entry porch. Walls are clad with wood V-rustic siding. Windows are wood 4/4 and 4/1 double-hung, 8 light fixed, and 12 light fixed. It has a panel door. There do not appear to be any modifications.

***P3b. Resource Attributes:** (HP3) multiple family property; (HP2) single family property

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

Overview. Building A at right, Building D at left, View NW.

Roll KBB3, Fr.34. 11-14-02, 2:09 PM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

c. late 1940s for Building D based on field observation

***P7. Owner and Address:**

Franklin; Charles H and Aleice P.

4320 Big Bend Rd.

Oroville, CA. 95965

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 11-14-02

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K39

B1. Historic Name: Unknown

B2. Common Name: Blue Waters Lodge

B3. Original Use: Apartments

B4. Present Use: Apartments

*B5. Architectural Style: Minimal Traditional and Shed

*B6. Construction History: The assessor's database does not have dates for these buildings. Based on design and materials, it appears that Building D is the oldest and constructed during the late 1940s. Building D does not appear to have been modified.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown Date: _____

Original Location: _____

*B8. Related Features: Apartment buildings A and B (c. late 1960s); Apartment building C (c.1970s).

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. The integrity of Building D has been diminished by the presence of three much larger post-1956 buildings on the property. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: None available.

B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89502

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 3

Resource Name or # K39

*Recorded by R. Reno and E. Bennett

Date: 11-14-02

☒ Continuation ☐ Update

P5a: Photo



090-192-053 Building D, View NE.
Roll KBB10, Fr.22. 03-12-03, 3:41 PM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2 *Resource Name or #: K40

P1. Other Identifier: Brockway Hills Apartments

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992

T 16N ; **R** 18 E; SW ¼ of NW ¼ of Sec 19; Mt. Diablo **B.M.**

c. Address 8817 North Lake Blvd.

City Kings Beach, CA.

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-222-016

***P3a. Description:** The property is a 1.5-story rectangular frame apartment building. Walls are clad with drop-pattern pressboard. Windows are sliding metal. Doors are pressed panel. The roof is corrugated metal side gable with a large shed dormer. Eaves are both enclosed and open with fascia. A one-story addition is on the northwest end. The building has open porches with simple railings. Skirting is plywood and boards. An exterior stair provides access to the upper level. Some natural vegetation and trees are on the lot, much of which is covered by a dirt and gravel driveway.

***P3b. Resource Attributes:** HP3 (Multiple family property)

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
Front, facing NE.
KBB15 Fr.8, 4:10am

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Assessor's Year Built: 1951

Assessor's Effective Year: N/A

***P7. Owner and Address:**

Peter and Elizabeth Gifford

P.O. Box 6733

Tahoe City, CA 96145

***P8. Recorded by:** R. Reno, K. Perkins

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 4/13/2005

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K40

B1. Historic Name:

B2. Common Name: Brockway Hills Apartments

B3. Original Use: Multiple Family Residence

B4. Present Use: Multiple Family Residence

*B5. Architectural Style: Vernacular with Ranch Style influences.

*B6. Construction History: Assessor's year built is 1951. A shed addition appears to date to c.1960s.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date:

Original Location:

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder:

*B10. Significance: Theme

Area

Applicable Criteria None

Period of Significance

Property Type

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type with diminished integrity due to alterations. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's Data.

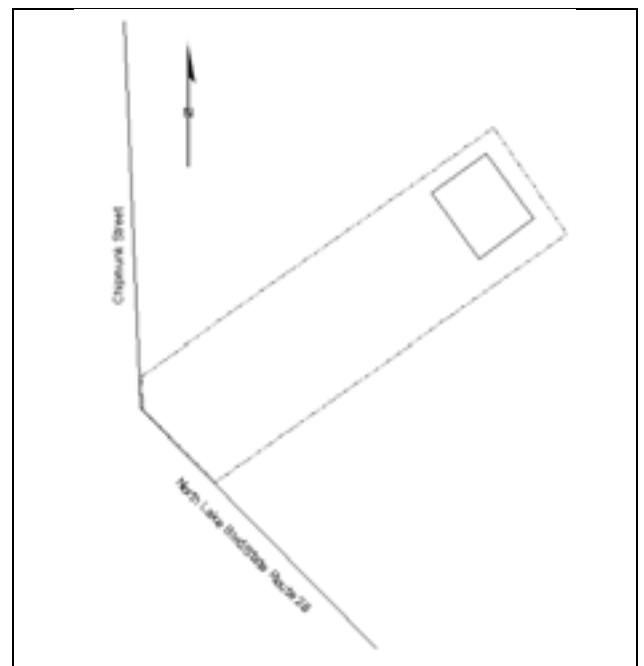
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

*Resource Name or #: K41

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E; SW ¼ of NW ¼ of Sec 19; Mt. Diablo B.M.

c. Address 8080 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-072-001

*P3a. Description: This building is a one-story rectangular plan wood frame cabin. It has an end-gable roof with exposed pole rafters and open eaves, clad with shake shingles. The roof extends on the south side to cover a porch facing the lake. The porch roof is supported by both milled and peeled log pillars. Walls are sheathed with natural log cabin siding that retains its bark on the gable ends. This siding is unusual in Kings Beach – most buildings use milled log cabin siding. The building has wood 4-pane casement windows and one recent fixed 1-pane window. Doors are flush, one with a single light. A side entry has been blocked and sheathed with the same siding as the rest of the walls. The lot retains native trees and is surrounded by a picket fence.

*P3b. Resource Attributes: (HP2) single family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
Back porch from Brockway Vista; View
NE; Roll KBB6, Fr.8,
01-13-03, 9:20 AM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Effective Year: 1924

*P7. Owner and Address:

Lanini; Jeffery & Krista

DBA Western States Equip.

P.O. Box 465 Tahoe Vista CA. 96148

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 01-13-03

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:
Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 3S

Page 2 of 3

*Resource Name or # K41

B1. Historic Name: Unknown

B2. Common Name: Lanini House

B3. Original Use: Residence

B4. Present Use: Real Estate Office

*B5. Architectural Style: Vernacular with Rustic details

*B6. Construction History: Effective Year is 1924. The Year Built is not in the Assessor's database. The building is accurately portrayed on the 1936 highway construction map. One door has been blocked, but that modification is likely 1920s-1930s. The only recent (c.1990s) modification appears to be replacement of one window.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Automobile Recreation / Tourism

Area Lake Tahoe

Period of Significance 1924 - 1960

Property Type House

Applicable Criteria C

(continued)

B11. Additional Resource Attributes:

*B12. References: Assessor's data, 1936 highway construction map.

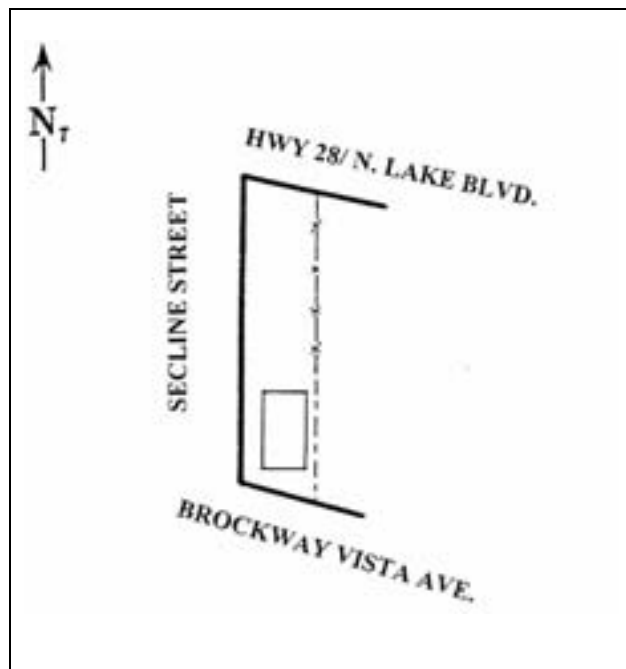
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 3

Resource Name or # K41

*Recorded by R. Reno and E. Bennett

Date: 01-13-03

☒ Continuation ☐ Update

***B10.**

The building does not appear to meet National Register Criterion A at the local level of significance. While it is associated with an event important in history, the development of seasonal automobile recreation and tourism at Lake Tahoe from 1924 to 1945, it is a typical representative of that event. It is one of the earliest surviving buildings in Kings Beach, predating the formal filing of the Brockway Vista Subdivision map in 1926. It does not appear to meet national Register Criterion B since there is no known association with a significant person. It does appear to meet National Register Criterion C, California Register Criterion 3, and TRPA Criterion C. The property is a locally exceptional representative of a vacation home design that reflects the Mountain Rustic ethic. Despite replacement of one window, it is the most fully developed example of Mountain Rustic characteristics on a cabin in Kings Beach and retains its original small (25 ft wide) Brockway Vista Subdivision lot. Later development tended to combine lots to make it possible to build larger residences and to allow for more open space around buildings. Resort cabins and houses in Kings Beach tended to be small in scale and simple in style. This reflects the attraction to the area of middle and lower classes of vacationers compared to other portions of the Tahoe Basin. Buildings of this style and scale are increasingly rare in Kings Beach and throughout the Tahoe Basin; particularly rare are cabins with this degree of integrity. Historic property boundaries are coincident with the assessor's parcel boundaries. Its period of significance is 1924-1960. Character-defining features include its setting, scale, use of Craftsman details, most windows, siding, and overall design. Noncontributing elements include one window. This cabin retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association. It appears to be nearly unmodified since original construction. It clearly conveys a sense of time and place.

The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined to be a historic resource as defined therein.

P5a:



Front and west side from Secline Street, View SE;
Roll KBB3, Fr. 3, 11-14-02, 10:13 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K42

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; SW ¼ of NW ¼ of Sec 19 ; Mt. Diablo B.M.

c. Address 8129 Brockway Vista Ave.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-072-019

*P3a. Description: This building is a one-story L-plan wood frame house. It has a gable roof with exposed rafters and open eaves, clad with composition shingles. Walls are sheathed with painted wood V-rustic siding. The building has recent aluminum sliding windows and a wood one-light panel door. A recent shed roof has been installed over the entrance and a large dog door cut into the front door.

The yard retains native trees and is surrounded by a board fence.

*P3b. Resource Attributes: (HP2) single family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-072-019, View NW.
Roll KBB2, Fr. 28. 10-31-02, 2:15 PM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1939

*P7. Owner and Address:

Eriksson; Stan & Karan

P.O. Box 1315 Tahoe City CA. 96145

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 10-31-02

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K42

B1. Historic Name: Unknown

B2. Common Name: Eriksson House

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: Assessor's Year Built and Effective Year are 1939. Recent (c.1990s) modifications include windows, door, and porch roof.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme
Period of Significance

Property Type

Area
Applicable Criteria None

The resource is associated with the period just before World War II when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of a small vacation cottage. Application of new windows, a new porch, and recent modification to the door has caused a loss of integrity of design, materials, and workmanship, and compromised integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

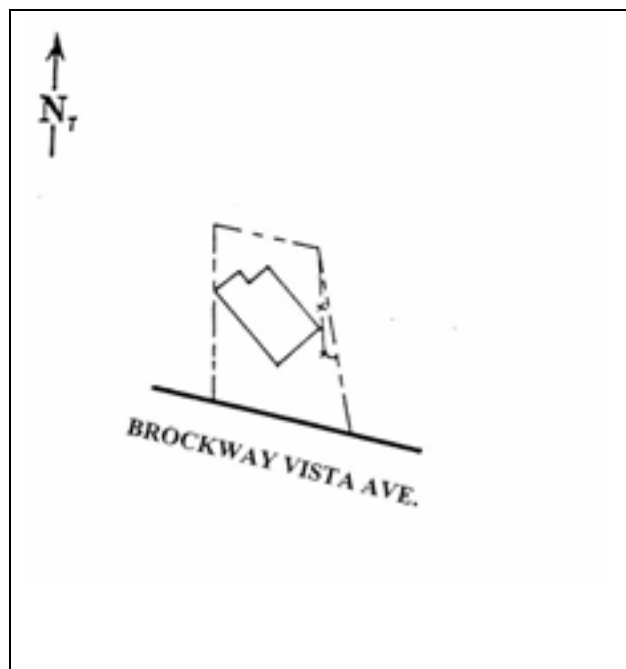
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K43

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date: 1992 T 16N ; R 18E; SW ¼ of NW ¼ of Sec 19 Mt. Diablo B.M.

c. Address 8165 Brockway Vista Ave.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-072-016

*P3a. Description: This building is a one-story rectangular plan wood frame house. It has a side-gable roof with open eaves and rafter ends partly obscured by a fascia, clad with composition shingles. Walls are sheathed with painted V-rustic wood siding. The building has wood 1/1 double-hung windows. The only modification is a recent wood X-panel door with nine lights. The building is set on a lot with a garage, lawn, native trees, and a recent deck.

*P3b. Resource Attributes: (HP2) single family property; (HP4) ancillary building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

090-072-016, View NE.

Roll KBB6, Fr. 9, 01-13-03, 10:00 AM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Effective Year: 1940

c.1930s field observation

*P7. Owner and Address:

Rasch; Bonnie M. & Fredric H.;

2651-4 Sycamore Glenn Dr.

Sparks, Nev. 89434

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 01-13-03

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K43

B1. Historic Name: Unknown

B2. Common Name: Rasch House

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: Assessor's Effective Year: 1940.

Modifications are a door and recent deck (c.1990s)

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Garage (c.1970s)

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource appears to be associated with a period just before World War II when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. This house retains its integrity of location, design, materials, and workmanship since only the door appears to have been modified. However, integrity of setting, feeling, and association has been diminished by the prominent garage modification and addition of a new front deck. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's records

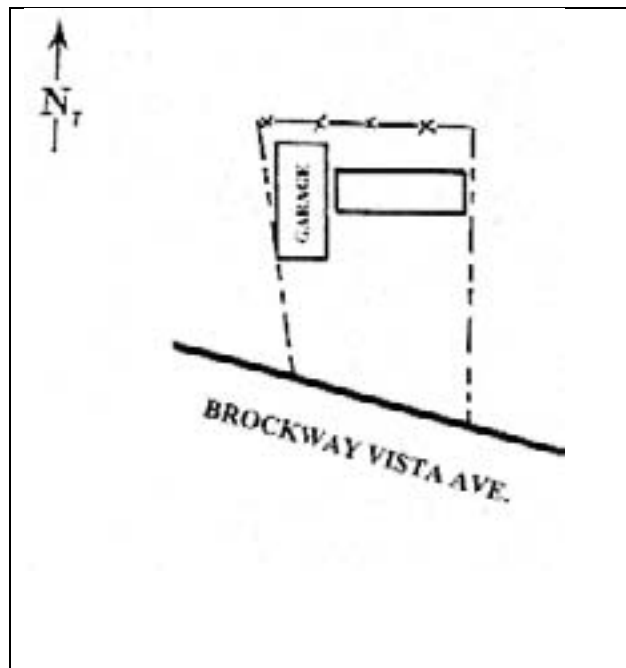
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4 *Resource Name or #: K44

P1. Other Identifier: Goldcrest Lodge

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; SW ¼ of NW ¼ of Sec 19; **Mt. Diablo B.M.**

c. Address 8194 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-072-006

***P3a. Description:** The building is a one and two-story L-plan strip motel. It has a side-gable roof with rafter ends covered by fascia boards, clad with composition shingles. Walls are sheathed with clapboard on the first floor and battens over plywood on the second floor. Originally, the building had casement and fixed multi-pane windows, of which only a few survive at the rear. Nearly all windows and many doors are sliding aluminum. Most doors are flush, some with lights. The building has been heavily modified, including blocking original front door and window on north wall (original office), addition of a long porch along the northern ell, addition of a gabled roof over the staircase, and construction of a one-story gable addition at the rear. All native vegetation has been removed; all of the lot not covered by the building is paved parking.

***P3b. Resource Attributes:** (HP5) motel

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-072-006, Overview from Hwy 28/
N. Lake Blvd, View S/SW.
Roll KBB3, Fr. 2, 11-14-02, 10:10 AM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

1952 Telephone Directory

***P7. Owner and Address:**

Lamb; Ray A.;

P.O. Box 579 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 11-14-02

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 4

*Resource Name or # K44

B1. Historic Name: Goldcrest Lodge

B2. Common Name: Goldcrest Resort Motel

B3. Original Use: Motel

B4. Present Use: Motel

*B5. Architectural Style: Ranch

*B6. Construction History: In 1952 phone book. Assessor's Effective Year of 1953. Extensive recent (c.1990s) remodeling of porches, windows, doors, and signage.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Original sign (shown on attached ad) replaced with recent sign. Rest of historic complex is separated from this building by Brockway Vista Ave. and fronts the lakeshore, as shown in attached advertisement. This is outside of project area and not recorded or evaluated.

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. The building's integrity of materials, design, workmanship, feeling, and association have been diminished by the replacement of windows and doors, construction of large porches, and elimination of historic signage.

Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Lake Tahoe telephone directories

Assessor's data

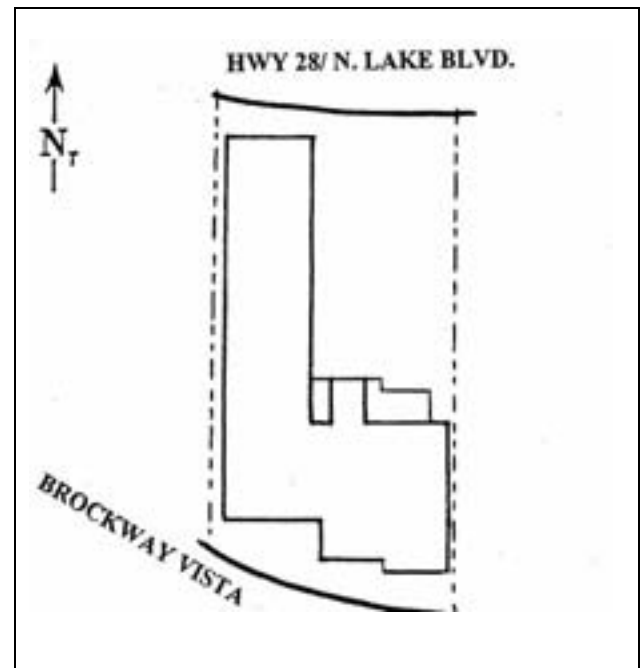
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650 Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

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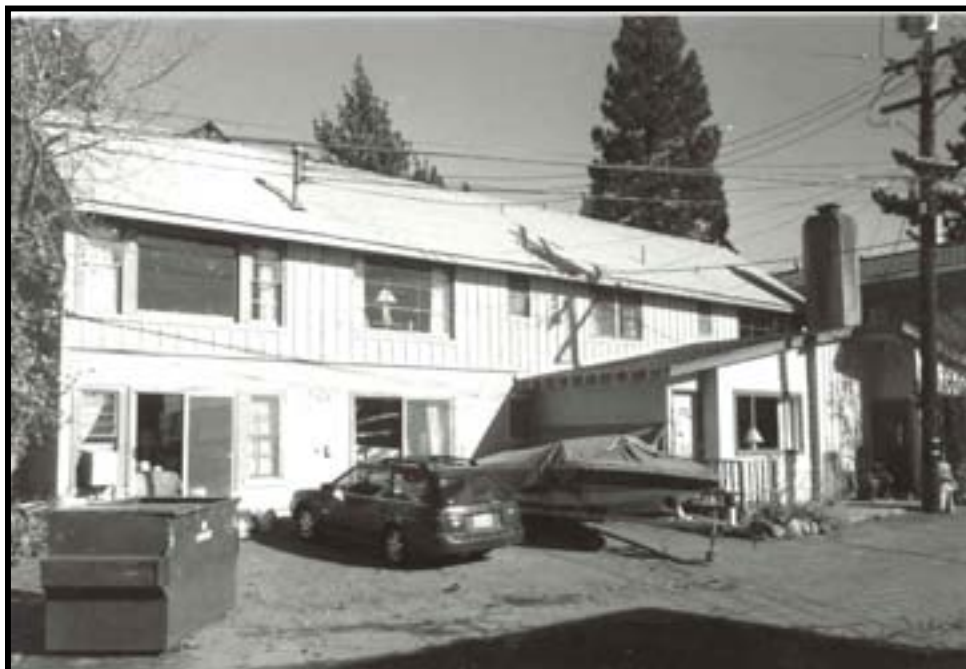
Resource Name or # K44

*Recorded by R. Reno and E. Bennett

Date: 01-13-03

☒ Continuation ☐ Update

P5a: Photo



090-072-026, Goldcrest Lodge, rear at Brockway Vista Avenue, View NE.
Roll KBB3, Fr. 4, 11-14-02, 10:15 AM

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
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Trinomial _____

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Resource Name or # K44

*Recorded by R. Reno and E. Bennett

Date: 01-13-03

☒ Continuation ☐ Update

P3a.



From 1952 Lake Tahoe Telephone Directory, Pacific Telephone and Telegraph Co. (Nevada Historical Society)
The image shows the portion of the complex outside the APE.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K45

P1. Other Identifier: Crown Motel

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; SW ¼ of NW ¼ of Sec 19 ; Mt. Diablo B.M.

c. Address 8200 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-072-027 and 090-072-009

***P3a. Description:** This building is a two-story L-plan strip motel built of concrete block. It has a side gable roof clad with tile. The east wall is faced with narrow concrete block. Most windows are recent aluminum sliders but some casement windows remain. Doors are wood panel and aluminum sliders. It is possible that the entire second floor, rear, and hip roof entrance are all recent additions.

Although the entire lot is covered with either parking or the building, a few native trees have been preserved.

***P3b. Resource Attributes:** (HP5) motel

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-072-027, West wing, View SW.
Roll KBB6, Fr. 1. 01-13-03, 9:50 AM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1955

***P7. Owner and Address:**

Ferrari Corp./Dave Ferrari;

P.O. Box 845 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 01-13-03

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K45

B1. Historic Name: Crown Motel

B2. Common Name: Crown Motel

B3. Original Use: Motel

B4. Present Use: Motel

*B5. Architectural Style: Ranch

*B6. Construction History: Assessor's Year Built is 1955. The motel is shown on the 1956 CSAA map. Additions (c.1980s) may include much of second floor, rear, and entrance. Nearly all windows and doors appear to be recent (c.1990s) replacements.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Multi-colored stone wall around rear patio is similar to Stewart Indian School masonry found throughout the Tahoe Basin. An elaborate faux ashlar planter and light fixture forms the base of the sign on SR 28.

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme
Period of Significance

Property Type

Area

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of a strip motel. Integrity of design, materials, workmanship, feeling and association have been compromised by additions and the installation of replacement, windows and doors. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's records.

Lake Tahoe telephone directories.

1956 Lake Tahoe Resorts map, California State Automobile Assoc.

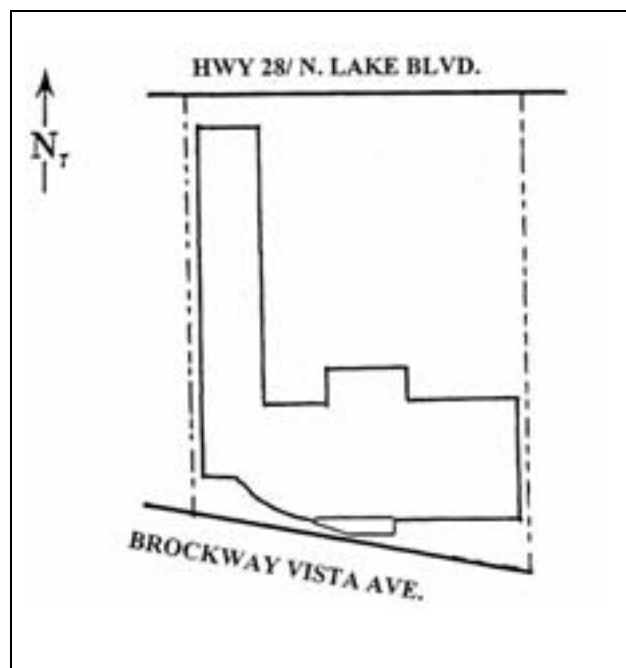
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 3

Resource Name or # K45

*Recorded by R. Reno and E. Bennett

Date

1-13-03 ☒ Continuation ☐ Update

P5a: Photo



090-072-027 Rear, at Brockway Vista Ave., View NW.
Roll KBB2, Fr. 29. 10-31-02, 2:35 PM.



090-072-027 South wing, View S.
Roll KBB6, Fr. 2. 01-13-03, 9:51 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K46

P1. Other Identifier: Sun N' Sand Lodge

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; SW ¼ of NW ¼ of Sec 19 ; Mt. Diablo **B.M.**

c. Address 8308 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-072-026

***P3a. Description:** This building is a two-story rectangular plan strip motel. It has a hip roof with open eaves and exposed rafter tails partly covered by a fascia, clad with composition shingles. Walls are sheathed with unpainted V-rustic siding. The building has a variety of fixed and casement windows, generally with six or eight lights. The office door has five lights, the rest of the doors are flush. As comparison of the attached historic advertisement and recent photo shows, the building is almost unmodified. The largest addition is a gazebo at the rear of the building. The historic sign has been replaced and a canopy placed over one window.

The lot is entirely paved, but a few native trees have survived. The building is placed to access the highway at the front and the beach at the rear, with the parking lot providing a vista of the lake.

***P3b. Resource Attributes:** HP5 (motel)

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

090-072-026, View SE.

Roll KBB2, Fr. 33. 10-31-02, 2:47 PM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Assessor' Year Built: 1952

***P7. Owner and Address:**

Patel; Anil C & Nayna;

P.O. Box 235 Kings Beach, CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 10-31-02

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K46

B1. Historic Name: Sun N' Sand Lodge

B2. Common Name: Sun N' Sand Lodge

B3. Original Use: Motel

B4. Present Use: Motel

*B5. Architectural Style: Ranch with Rustic details

*B6. Construction History: Assessor's Year Built: 1952, confirmed by first appearance in phone books in 1953. Owner-managers noted in 1955-56 phone books are Marcia and Malin Petz. Modifications include a c.1990s gazebo, sign, and canopy over one window.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____

Original Location: _____

*B8. Related Features: Gazebo, sign

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of a strip motel despite some rustic details. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's records.

Lake Tahoe telephone directories.

B13. Remarks:

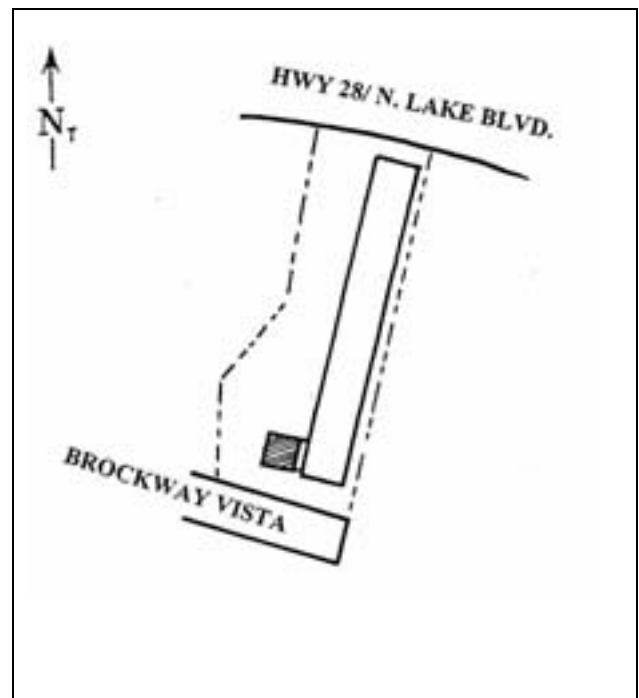
The gazebo is shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
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Resource Name or #K46

*Recorded by R. Reno and E. Bennett

Date 10-31-02

☒ Continuation ☐ Update

P5a



090-072-026 Rear at Beach, Gazebo in foreground. View NE. Roll KBB2, Fr. 32, 10-31-02, 2:47 PM.

SUN N' SAND LODGE

MARCIA and MALIN FELZ
Owner-Managers

AAA Approved
27 COMPLETELY MODERN UNITS
THERMOSTAT CONTROLLED HEAT
PRIVATE BEACH FOR SUN BATHING & SWIMMING
FREE RADIOS IN EVERY ROOM

NEAR
GOLF COURSE MOVIE THEATER RESTAURANTS
For Reservations

CALL
LI 6-3595

KINGS BEACH P. O. BOX 131 CALIF.

Map labels: KINGS BEACH, CAL NEVA, TAHOE CITY, TAYLOR TAVEN, LAKE TAHOE, TAYLOR TOWN, TROUTWOOD, GLENWOOD, MARINE BAY, ZEPHYRUS COVE, GENERAL BAY, RICHARDSON.

State of California — The Resources Agency
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PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K47

P1. Other Identifier: Mr. Video

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NE ¼ of SW ¼ of Sec.19 ; Mt. Diablo **B.M.**

c. Address 8612 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-134-002

***P3a. Description:** This property includes two buildings on a paved lot. No native trees grow on the lot. Building A is a rectangular plan structure with a side gable roof clad with recent standing seam metal panels. The front (north) half of the building is one-story, occupied by the video store. It is of straight corner cinderblock construction sheathed with wood lap and V-rustic siding, along with cobble veneer wainscot. Windows are fixed and metal sliders, metal 1/1 double-hung, and wood 1/1 double-hung. Doors are one light panel. The rear (south) half of the building is 2½ story wood frame, occupied by apartments. Siding includes board and batten on the gable end. Windows are 1/1 metal double-hung, metal sliding, and fixed. Doors are flush. Building B is a rectangular L-plan wood frame house. The roof is cross gable with open eaves and exposed rafters, clad with rolled composition material with a dog-tooth edge to simulate shingles. A plastic sheet was secured over the roof with battens, but the plastic has decayed and been blown away. Walls are sheathed with wood lapped and V-rustic siding. Plywood skirting covers the foundation. Windows are 1/1 and 2/2 wood double-hung and two aluminum sliders. Doors are wood panel with one light. It appears that the east wing was added to the original structure, but this addition appears to date to the 1950s.

***P3b. Resource Attributes:** (HP2) single family property; (HP3) multiple family property; (HP6) 1-3 story commercial building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-134-002, Building A, View SW.
Roll KBB7, Fr. 1. 01-20-03, 10:15 AM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1955 USGS map

c.1950-1955 field observation

***P7. Owner and Address:**

McCormick; Robert M.

P.O. Box 986 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 01-20-03

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K47

B1. Historic Name: Unknown

B2. Common Name: Mr. Video

B3. Original Use: Unknown

B4. Present Use: Store and Apartments

*B5. Architectural Style: Resort Rustic

*B6. Construction History: Assessor does not have dates for the buildings. A building is shown in this location on the 1955 USGS map. Modifications (c.1990s) to Building A include a new addition, siding, windows, doors, and roofing. Modifications (c.2000s) to Building B include foundation skirting, windows, trim, and roof battens.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme
Period of Significance

Property Type

Area

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Modifications to both buildings have severely compromised their integrity of design, materials, and workmanship, feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References:

1955 USGS Tahoe 15' map.

B13. Remarks:

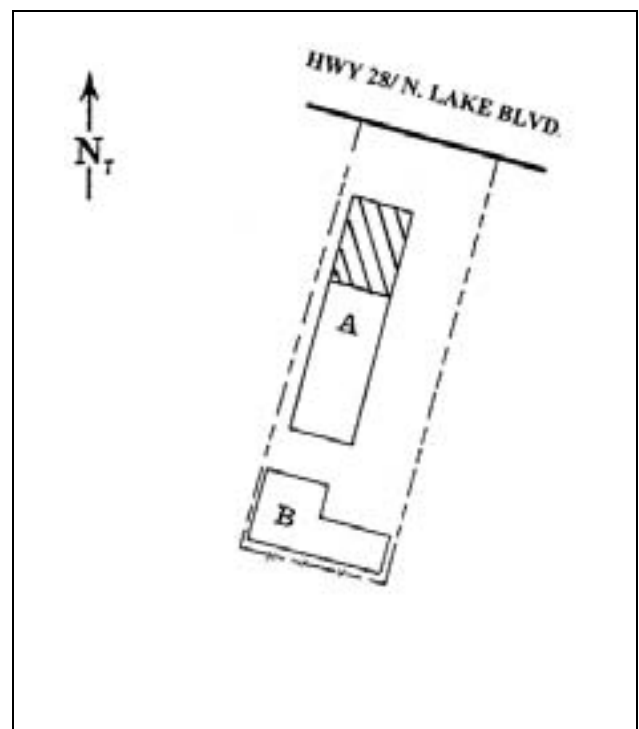
With the major modifications to the exterior of Building A, it was not possible to precisely determine where the addition started. The addition is shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
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Trinomial _____

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Resource Name or #K47

*Recorded by R. Reno and E. Bennett

Date 01-20-03

☒ Continuation ☐ Update

P5a: Photo



090-134-002, Building B, View NE.
Roll KBB7, Fr. 0. 01-20-03, 10:10 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4 *Resource Name or #: K48

P1. Other Identifier: Lakeside Gallery and Gifts

*P2. Location: ☐ Not for Publication ☒ Unrestricted and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NE ¼ of SW ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8636 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-134-005

*P3a. Description: This property includes a large commercial structure, two residences, a garage, and carport.

Building A is a one-story rectangular plan wood frame store presently occupied by the Lakeside Gallery and Gifts. It has a jerkin-head roof with false front, open eaves, and exposed rafters, clad with recent metal panels. Walls are sheathed with wood drop rustic siding. Windows are wood 6/6 double-hung and recent fixed. Doors are recent metal sliders. (continued)

*P3b. Resource Attributes: (HP2) single family property, (HP4) ancillary building, (HP6) 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-134-005, Building A, View SW.
Roll KBB4, Fr. 11. 11-14-02, 3:36 PM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1936 Highway Map

c. 1930-1936 field observation

*P7. Owner and Address:

Procissi; Basilio TRS.

215 Marshall Way, Auburn CA. 95603

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 11-14-02

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 4

*Resource Name or # K48

B1. Historic Name: Unknown

B2. Common Name: Lakeside Gallery and Gifts

B3. Original Use: Residence

B4. Present Use: Store and Residence

*B5. Architectural Style: Minimal Traditional and Vernacular

*B6. Construction History: The assessor has no dates for this property. The 1936 highway construction map shows buildings B, C, and the carport. Modifications to Building A include door, windows, and roofing.

Modifications to Building B include a window, door, some roofing, and front deck.

Modifications to Building C include a shed porch/entry, windows, and attached fence

Modifications to the garage include siding and the door.

The carport does not appear to have been modified.

All modifications appear to date to the 1990s.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Garage, Carport

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the interwar period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type with diminished integrity due to alterations and additions. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References:

1936 highway construction map

B13. Remarks:

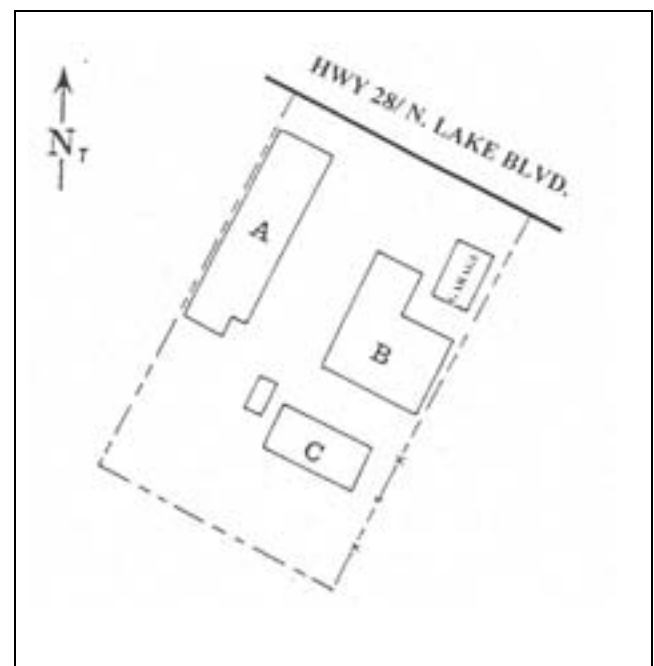
Part of Building B was not available for inspection since it was covered with temporary plastic sheeting.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
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Resource Name or # K48

*Recorded by R. Reno and E. Bennett

Date: 11-14-02

☒ Continuation ☐ Update

***P3a.**

Building B is a one-story L-plan wood frame house. It has a gable roof with open eaves and exposed rafters, clad with a combination of milled wood shingles and recent metal panels. The upper halves of walls are sheathed with bark shingles and the lower halves are sheathed with peeled logs. Windows are wood 1/1 double-hung, three-light paired casement, and recent fixed. The front door is flush. A small gable hood is on the roof above the door. A recent deck has been added to the front entrance. An external stone chimney is at the north gable end.

Associated with the building is a detached wood frame one-car garage. It has an end-gable roof with milled wood shingles. It has asphalt siding with milled log siding on the lower half of the walls. The garage has a recent overhead door.

Building C is a one-story rectangular plan wood frame house. It has a cross-gable roof with open eaves and exposed rafters, clad with milled wood shingles. Walls are clad with bark shingles. Windows appear to be recent sliders. They are partly obscured by metal storm windows. The door was not visible. The shed porch/entry is made of plywood.

Associated with Building C is an end-gable carport. The roof is supported on round wooden posts.

P5a: Photo



090-134-005, Building B, View SE.
Roll KBB4, Fr. 12. 11-14-02, 3:37 PM.

State of California – The Resources Agency
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HRI # _____
Trinomial _____

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Resource Name or # K48

*Recorded by R. Reno and E. Bennett

Date: 11-14-02

☒ Continuation ☐ Update

P5a: Photo



090-134-005, Building C left, carport right. View S.
Roll KBB7, Fr.3 01-20-03, 11:55 AM.



090-134-005, Garage, View SE.
Roll KBB11, Fr.8. 04-01-03, 11:40 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

*Resource Name or #: K49

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NE ¼ of SW ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8659 Brockway Vista Ave.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-134-017

*P3a. Description: This property includes two residences and a detached garage on a lot that supports native vegetation except on the unpaved driveway.

Building A is a one-story rectangular plan wood frame house with a basement. It has a side-gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are clad with cedar bark shingles, unpeeled natural log cabin siding, and milled log cabin siding. All windows are obscured by shutters. The entrance door is shuttered and the basement door is flush. A shed addition on the north side of the house appears to be historic. The house has a front porch with supports for a seasonal fabric roof. The building has a stone fireplace. There do not appear to be any recent modifications. (continued)

*P3b. Resource Attributes: (HP2) single family property, (HP4) ancillary building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-134-017, Building A, View NE.
Roll KBB1, Fr. 29. 10-30-02, 2:27 PM.

*P6. Date Constructed/Age and
Sources: ☒ Historic

☐ Prehistoric ☐ Both

Assessor's Effective Year: 1920
c.1926-1930 field observation.

*P7. Owner and Address:

Welch; Marylynn Ann TRS.
242 Olive St. Auburn CA. 95603

*P8. Recorded by: R. Reno, E. Bennett
Geoarch Sciences, Inc.
P.O. Box 734
Minden, NV 89423

*P9. Date Recorded: 10-30-02

*P10. Survey Type:
Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:
Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 3S

Page 2 of 3

*Resource Name or # K49

B1. Historic Name: Unknown

B2. Common Name: Welch Houses

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional with Rustic details

*B6. Construction History: The assessor provides an Effective Year of 1920, but this may be in error since the subdivision was not formally platted until 1926. Since the buildings closely follow the lot lines, it appears unlikely that the property was actually developed before the mid-1920s. This makes these buildings some of the oldest remaining in Kings Beach. Building A has a shed addition that appears to date to the 1930s. It does not appear to have any recent modifications.

Building B and the garage both appear unmodified.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Garage

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Automobile Recreation / Tourism

Area Lake Tahoe

Period of Significance 1926 - 1960

Property Type House, Garage

Applicable Criteria C

The property does not appear to meet National Register Criterion A. Although it is associated with an event important in history, the development of automobile recreation and tourism at Lake Tahoe from 1920 to 1945, it is a typical rather than an exceptional representative of that event. The property does not appear to meet national Register Criterion B since there is no known association with a significant person. The property appears to meet National Register Criterion C, California Register Criterion 3, and TRPA Criterion C. The property is a locally exceptional representative of a vacation home and outbuilding design that reflects the Mountain Rustic ethic. The small scale of the property is typical of residential architecture in Kings Beach during the 1920s, and is indicative of the attraction of this place to people of modest means. Historic property boundaries are coincident with the assessor's parcel boundaries. Its period of significance is 1926-1960. Character-defining features include the setting, scale, use of Craftsman details, windows, rustic siding, and overall design. There are no noncontributing elements. These cabins and garage all retain a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association since they and the lot appear to be nearly unmodified since original construction. The property clearly conveys a sense of time and place. (continued)

B11. Additional Resource Attributes:

*B12. References: Assessor's data

1926 plat of the Brockway Vista Subdivision

B13. Remarks:

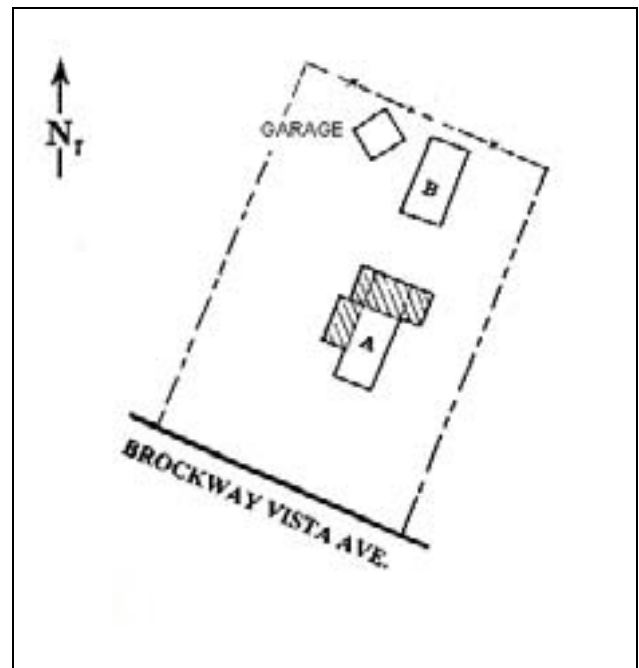
Additions are shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 3

Resource Name or # K49

*Recorded by R. Reno and E. Bennett

Date : 10-30-02

☒ Continuation ☐ Update

***P3a.**

Building B is a rectangular one-story rectangular plan wood frame house. It has an end-gable roof with exposed rafters and open eaves, clad with composition shingles. Walls are sheathed with stained wood V-rustic siding. All windows and the door are closed with shutters. There do not appear to be any modifications to the house.

The garage is a rectangular building. It has an end-gable roof with exposed rafters and open eaves, clad with composition shingles. Walls are sheathed with cedar bark shingle siding. Corner posts are untrimmed logs. The gable end and carriage house doors are made of wood planks.

***B10.**

The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined to be a historic resource as defined therein.

P5a : Photo



090-134-017, Building B foreground right, Garage background left. View NE.
Roll KBB1, Fr.30. 10-30-02, 2:29 PM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4

*Resource Name or #: K50

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach

Date 1992 T 16N ; R 18E ; NE ¼ of SW ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8669 Brockway Vista

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: Most of buildings are on APN 090-134-045 but Building A continues onto APN 090-134-044, which is also used as parking and a driveway.

*P3a. Description: This property includes a primary residence and a row of four small rental houses. Remaining parts of the lot are generally barren and used for access, but some native trees remain. (continued)

*P3b. Resource Attributes: (HP2) single family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-134-045, Building A, View NW.
Roll KBB7, Fr.19. 01-20-03, 3:11 PM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1942

*P7. Owner and Address:

Rockwood, Robert K. and Cynthia A.

14554 "A" Big Basin Way

Saratoga CA. 95070

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 01-20-03

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:
Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 4

*Resource Name or # K50

B1. Historic Name: Unknown

B2. Common Name: Rockwood Houses

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: Assessor's Year Built and Effective Year: 1942

Modifications to Building A include a c.1940s addition, recent addition, all windows and doors, and a large deck.

Modifications to Building B include a c.1940s addition, recent addition, windows, door, and porch details.

Modifications to Building C include a c.1940s addition, windows, and porch details.

Modifications to Building D include windows, door, and porch details.

Modifications to Building E include windows, door, and porch details. (All recent modifications appear to date to the 1990s.)

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with a period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination, although it is unusual for its construction during World War II. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Application of new siding, porch or deck details, windows, and doors on all buildings, along with recent additions on buildings A, B, and C, has caused a loss of integrity of design, materials, and workmanship, and severely compromised integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

B13. Remarks:

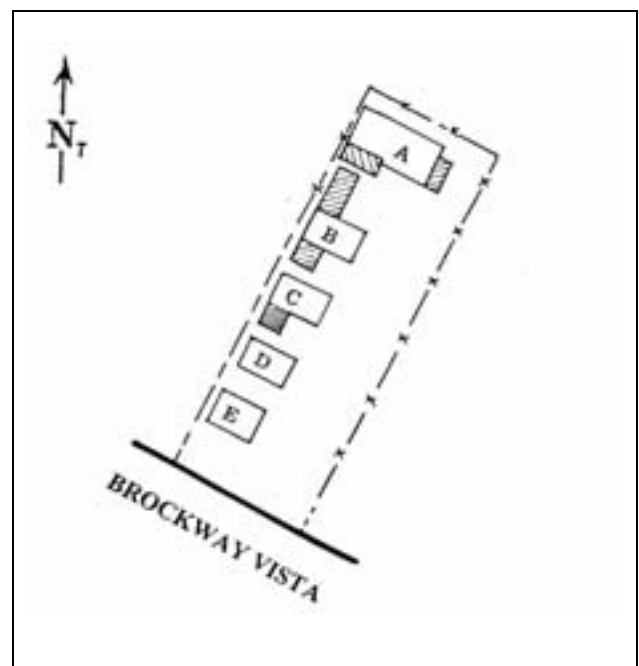
Additions are shaded on sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
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Resource Name or #K50

*Recorded by R. Reno and E. Bennett

Date 11-14-02

☒ Continuation ☐ Update

***P3a.**

Building A is a complex plan wood frame house. It has a cross gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are sheathed with wood drop siding. The recent gable addition on the east end of the building is sheathed with plywood T1-11 siding. All windows are recent, including metal fixed and 1/1 double-hung. The panel door is also recent. A shed addition on the south side of the house appears to be historic. A large recent deck with horizontal rails occupies the southern side of the building.

Building B was originally a one-story rectangular plan wood frame house, modified to a T-plan by a recent shed addition on the north side and a historic shed addition on the south side. It has an end gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are sheathed with drop siding except for the recent addition, which employs plywood T1-11 siding. Windows are recent metal 1/1 double-hung. The door is recent panel. A gable entry porch is on the east side. Recent lattice has been used to enclose former porch openings and plywood T1-11 siding has been used for solid porch railings.

Building C was originally a one-story rectangular plan wood frame house, modified to an L-plan by a historic shed addition on the south side. It has an end gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are sheathed with drop siding. Windows are recent metal 1/1 double-hung. The door is recent panel. A gable entry porch is on the east side. Recent lattice has been used to enclose former porch openings and plywood T1-11 siding has been used for solid porch railings.

Building D is a one-story rectangular plan wood frame house. It has an end gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are sheathed with drop siding. Windows are recent metal 1/1 double-hung. The door is recent flush. A gable entry porch is on the east side. Plywood T1-11 siding has been used for solid porch railings.

Building E is a one-story rectangular plan wood frame house. It has an end gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are sheathed with drop siding. Windows are recent metal 1/1 double-hung. The door is recent panel. A gable entry porch is on the east side. Plywood T1-11 siding has been used for solid porch railings.

State of California – The Resources Agency
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HRI # _____
Trinomial _____

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Resource Name or # K50

*Recorded by R. Reno and E. Bennett

Date: 11-14-02

☒ Continuation ☐ Update

P5a: Photo



090-134-045, Buildings B and C, View NW.
Roll KBB7, Fr. 18. 01-20-03, 3:10 PM.



090-134-045, Buildings D and E in foreground, View NW.
Roll KBB4, Fr. 21. 11-14-02, 4:32 PM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

*Resource Name or #: K51

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NE ¼ of SW ¼ of Sec.19 ; Mt. Diablo B.M.

c. Address 8680 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-134-008

*P3a. Description: This property consists of two residences and a shed. Although mostly cleared and used for parking, the lot supports native trees.

Building A is a one-story rectangular plan wood frame house. It has a cross-gable roof with open eaves and exposed rafters, clad with shake shingles. Walls are clad with plywood T1-11 siding. One wood 1/1 double-hung window and one metal slider are present, flanked by decorative shutters. The door is flush. Based on the form of the house, there appears to be a gable addition on the east end and a shed addition on the west end of the house. Due to the window style, the east addition appears to be historic. No estimate could be made regarding the date of the possible west addition. (continued)

*P3b. Resource Attributes: (HP2) single family property, (HP4) ancillary building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-134-008, Building A, View SE.
Roll KBB4, Fr.13. 11-14-02, 3:45 PM.

*P6. Date Constructed/Age and
Sources: ☒ Historic

☐ Prehistoric

☐ Both

1936 Highway Construction Map
c.1930-1936 field observation

*P7. Owner and Address:

Dentraygues; Gabrielle and
Maguire; Frank C.

P.O. Box 649 Crystal Bay Nev. 89402

*P8. Recorded by: R. Reno, E. Bennett
Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 11-14-02

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:
Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 2

*Resource Name or # K51

B1. Historic Name: Unknown

B2. Common Name: Dentraygues House

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: Building A is depicted on the 1936 highway construction map. .

Modifications to Building A include one, or perhaps two, additions (c.1940s). Recent modifications include all siding, door, window, and shutters. Assessor's Effective Year of 1962 reflects presence of the other (c.1970s) residence (Building B).

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Residence (Building B) and Shed, both less than 50 years old based on field inspection

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the interwar period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Application of new siding, new window, and new doors has caused a loss of integrity of design, materials, and workmanship. Presence of a house and shed less than 50 years old has severely compromised integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's Data

1936 Construction Map for SR 28.

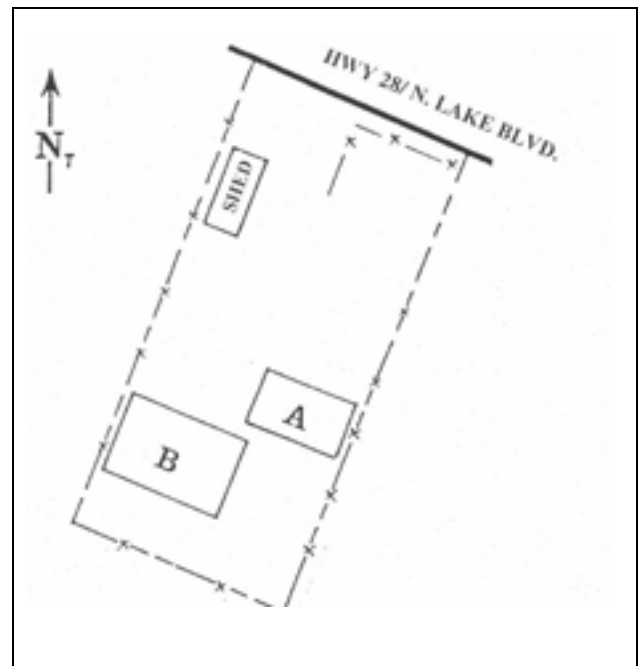
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4

*Resource Name or #: K52

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NE ¼ of SW ¼ of Sec .19 ; Mt. Diablo B.M.

c. Address 8679 Brockway Vista Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-134-046

*P3a. Description: This property includes four residences and a small shed that may have been the pump house. Much of the property is covered by native vegetation. Building A is a one-story rectangular plan wood frame house. It has a side gable roof with open eaves and exposed rafters, clad with rolled composition material. Walls are clad with painted wood drop rustic siding. Windows are 1/1 wood double-hung and recent fixed. The door is recent panel with a semi-circular light. An enclosed gable entry has been added, with plywood T1-11 siding in the gable end. (continued)

*P3b. Resource Attributes: (HP2) single family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-134-046, Building A, View North.
KBB7, Fr.20. 01-20-03, 3:20 PM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1934

*P7. Owner and Address:

Duggan; Eugene Jay & Theresa May
P.O. Box 1431 Kings Beach CA. 96143

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 01-20-03

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report

: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 4

*Resource Name or # K52

B1. Historic Name: Unknown

B2. Common Name: Duggan Houses

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: Assessor's Year Built and Effective Year: 1934

Modifications (c.1990s) to Building A include window, door, and entry addition.

Modifications to Building B include two c.1930s additions and a c.1990s window.

Modifications (c.1990s) to Building C include the door, porch, and storage bins.

Modifications (c.1990s) to Building D include a window and porch details.

The possible pump house does not appear to have been modified.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Pump House

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the interwar period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. The recent entry and application of a new window dominate the main façade of Building A, causing diminished integrity of design, materials, and workmanship. Although modifications to buildings B, C, and D are relatively minor, the degradation of integrity of design, materials, and workmanship is relatively severe due to window and door replacements changing the size and orientation of wall openings and emplacing materials that overwhelm adjacent historic components on the small houses. The pump house retains its integrity of design, materials, and workmanship since it appears to be unmodified since original construction. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

B13. Remarks:

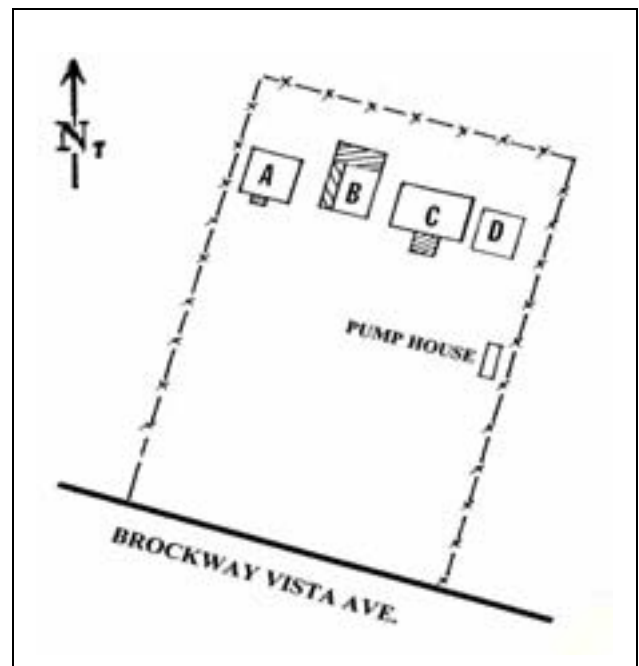
Additions are shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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Resource Name or #K52

*Recorded by R. Reno and E. Bennett

Date 01-20-03

☒ Continuation ☐ Update

***P3a.**

Building B is a one-story rectangular plan wood frame house. It has a cross-gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are clad with painted wood drop rustic siding. Windows are one pane casement pane and recent fixed. The door is wood panel. The building has two additions, a shed on the west side and a gabled addition on the north end.

Building C is a one-story rectangular plan wood frame house. It has a side-gable roof with open eaves and exposed rafters, clad with composition shingles. A recent shed entry porch supported by simple posts is on the south side of the house. Walls are sheathed with unpainted wood drop rustic siding. Windows are wood 1/1 double-hung with lambs tongue drops. The door is a glass slider. A series of wooden storage bins have been attached along the west wall.

Building D is a 1½ story rectangular plan wood frame house. It has an end-gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are clad with painted drop rustic siding. Windows are wood 1/1 double-hung with lambs tongue drops, wood three light paired casement windows, and aluminum sliding. A shed-roofed porch is on the south façade. This has recent lattice skirting. A series of plywood firewood bins and a plywood utility shed are attached to the building.

A small gable end outbuilding that is likely a pump house with drop rustic siding is also on the property. Unlike the other buildings, it does not appear to have been modified.

State of California – The Resources Agency
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Trinomial _____

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Resource Name or # K52

*Recorded by R. Reno and E. Bennett

Date: 01-20-03

☒ Continuation ☐ Update

P5a: Photo



090-134-046, Building B left, Building C right. View NE.
Roll KBB1, Fr.28. 10-30-02, 12:05 PM.



090-134-046, Building D, View NE.
Roll KBB1, Fr.27. 10-30-02, 12:00 PM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

*Resource Name or #: K53

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
And

*a. County Placer

*b. USGS 7.5' Quad Kings Beach

Date 1992 T16N ; R ; ¼ of ¼ of Sec ; Mt Diablo B.M.

c. Address 8681 and 8685 Brockway Vista Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-134-034

***P3a. Description:** This property consists of two residences on a lot with native trees and unpaved parking areas. Building A is a one-story L-plan wood frame house. It has a side-gable roof with open eaves, recent fascia, and gutters, clad with composition shingles. Walls are sheathed with painted wood drop siding. The building has wood 1/1 double-hung windows with lambs-tongue drops. The flush door is recent. A recent deck has been added, along with cobble masonry skirting around part of the foundation. A recent large utility shed is attached to the north wall and a smaller shed is attached to the east wall. Both are made of plywood. Building B is a one-story complex plan wood frame house. It has a gable roof with open eaves, and recent fascia, clad with composition shingles. Walls are sheathed with painted wood drop siding. The building has wood 1/1 double-hung windows with lambs-tongue drops. The flush door is recent. A recent deck has been added, along with cobble masonry skirting around part of the foundation. Four small plywood shed additions cover half of the east wall.

***P3b. Resource Attributes:** (HP2) single family property

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

Overview, View NE.

Building "A" front, "B" rear.

Roll KBB12, Fr. 4, 3-28-03, 10:04 AM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1938

***P7. Owner and Address:**

Robert D. Smyly

P.O. Box 695

Kings Beach, CA 96143

***P8. Recorded by: R. Reno, E. Bennett**

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 4-28-03

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K53

B1. Historic Name: Unknown

B2. Common Name: Smyly Houses

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: Assessor's Year Built: 1938.

Both Building A and Building B have been modified (c.1990s) with a deck, attached sheds, skirting, door, fascia, and gutters.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme
Period of Significance

Property Type

Area

Applicable Criteria None

The resource is associated with the pre-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Addition of a recent deck and recent attached sheds, along with application of new skirting, new doors, new fascia, and new gutters to both buildings has caused a loss of integrity of design, materials, and workmanship, and severely compromised integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

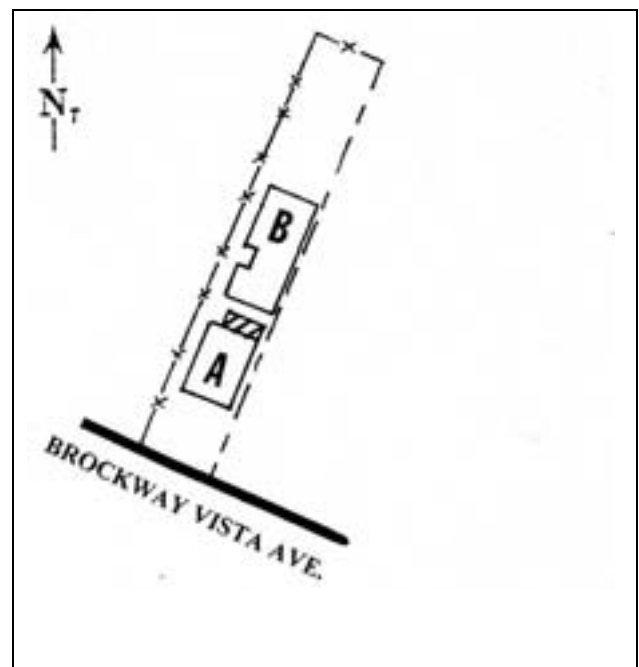
B13. Remarks:

Shading on the sketch map is an addition.

*B14. Evaluator: J. W. Snyder, P.S. Preservation Services
P.O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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Primary # _____
HRI # _____
Trinomial _____

Page 3 of 3

Resource Name or #K53

*Recorded by R. Reno and E. Bennett

Date 4-28-03

☒ Continuation ☐ Update



090-134-034 Building A, View N.
Roll KBB12, Fr.5. 3-28-03, 10:05 AM.



090-134-034 Building B, View NW.
Roll KBB12, Fr.6. 3-28-03, 10:06 AM

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

*Resource Name or #: K54

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
And

*a. County Placer

*b. USGS 7.5' Quad Kings Beach

Date 1992 T16N ; R ; ¼ of ¼ of Sec ; Mt Diablo B.M.

c. Address 8693 Brockway Vista Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-134-023

*P3a. Description: This property includes two residences on a yard with native trees and an asphalt driveway.

Building A is a 1½ story L-plan wood frame house. It has an end gable roof with open eaves and exposed rafters, clad with painted corrugated metal sheets. A narrow shed roof clad with shake shingles covers the shallow combination entry and bay window and extends the entire length of the south façade. Walls and gable ends are sheathed with painted V-rustic siding. The building has 6/1 and 1/1 wood double-hung windows along with recent large horizontally oriented fixed picture windows, recent storm windows, and a recent aluminum slider. Doors are wood panel with lights, recent metal storm, and recent panel with lights. A gable addition is on the west side. The building has a large wood front deck and a recent external cinder block chimney.

Building B is a one-story rectangular plan wood frame house. It has a side gable roof with fascia, clad with painted corrugated metal panels. Walls are sheathed with painted V-rustic siding. The building has aluminum sliding windows, recent flush door, and a wood front porch.

*P3b. Resource Attributes: (HP2) single family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

090-134-023, View NE.

Building "A" front, "B" rear.

Roll KBB12, Fr.7. 3-28-03, 10:07 AM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1954

*P7. Owner and Address:

Marcia A. Smith

P.O. Box 1383

Kings Beach, CA 96143

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 4-28-03

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K54

B1. Historic Name: Unknown

B2. Common Name: M. Smith Residence

B3. Original Use: Residence

B4. Present Use: Residence

*B5. Architectural Style: Vernacular

*B6. Construction History: Assessor's Year Built: 1954

Recent (c.1990s) modifications to Building A include the addition, windows, doors, and chimney.

Recent (c.1990s) modifications to Building B are all windows and the door.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Application of new windows and doors to both buildings and a new chimney to Building A has caused a loss of integrity of design, materials, and workmanship, and compromised integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

B13. Remarks:

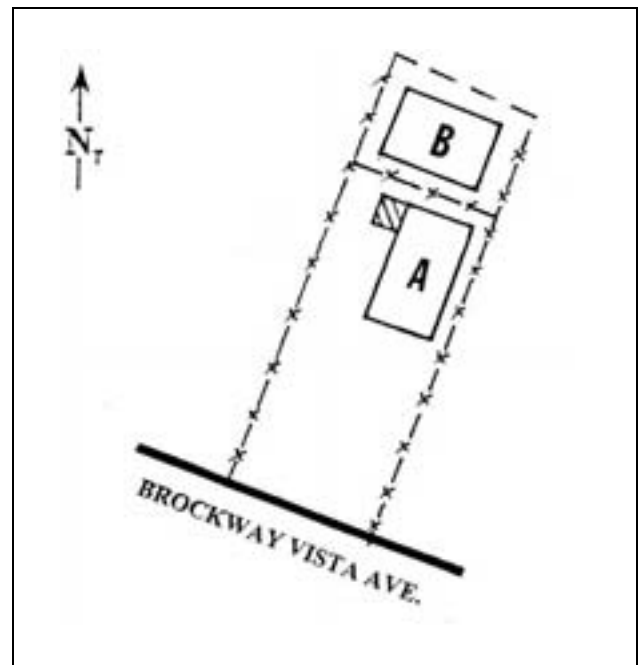
Shaded area is an addition.

*B14. Evaluator: J. W. Snyder, P.S. Preservation Services

P.O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
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Resource Name or #K54

*Recorded by R. Reno and E. Bennett

Date 4-28-03

☒ Continuation ☐ Update



090-134-023 Building A, View NE.
Roll KBB12, Fr.1. 3-28-03, 9:55 AM.



090-134-023 Building B, View NE.
Roll KBB12, Fr.2. 3-28-03, 9:58 AM

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4 *Resource Name or #: K55

P1. Other Identifier: Golden Group and Quality Carpet Care

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec .19 ; Mt. Diablo **B.M.**

c. Address 8702 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: 090-134-030

***P3a. Description:** This property includes two small businesses, in what appear to have originally been residential buildings, and an outbuilding. They are set on a lot that is mostly paved parking but supports some native trees. Building A is a small one-story L-plan wood frame house. It has a cross-gable roof with exposed rafters and open eaves, clad with standing seam metal. The building is sheathed with wood lap siding. Original windows are wood 1/1 double-hung, but both windows on the front façade have been replaced with fixed single light windows. The door is clad with wood V-rustic siding. The house has a recent (c.1990s) picket fence and trellis entry bearing the business sign. (continued)

***P3b. Resource Attributes:** (HP6) 1-3 story commercial building; (HP4) ancillary building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-134-030, Building A, View SW.
Roll KBB4, Fr. 15. 11-14-02, 3:50 PM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

c.1940, field inspection

***P7. Owner and Address:**

Wightman; Kevin, et. al.

P.O. Box 263 Tahoe City CA. 96145

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 11-14-02

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 4

*Resource Name or # K55

B1. Historic Name: Unknown

B2. Common Name: Golden Group and Quality Carpet Care

B3. Original Use: Residences

B4. Present Use: Businesses

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: The assessor does not provide dates for the parcel.

The buildings appear to date to about 1940 from field inspection. Buildings are shown in this area on the 1955 USGS Tahoe map.

Building A has been modified with windows and roof cladding (c. 1990s).

Building B has been modified with recent (c.1990s) windows and roof cladding.

The possible pump house does not appear to have been modified except for covering a window.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Pump house

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource appears to be associated with the pre-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of a small vacation cottage. Application of new windows and roof material on buildings A and B has caused a loss of integrity of design, materials, and workmanship. The pump house retains its integrity of design, materials, and workmanship, since it appears to be unmodified since original construction. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References:

1955 USGS Tahoe 15' map

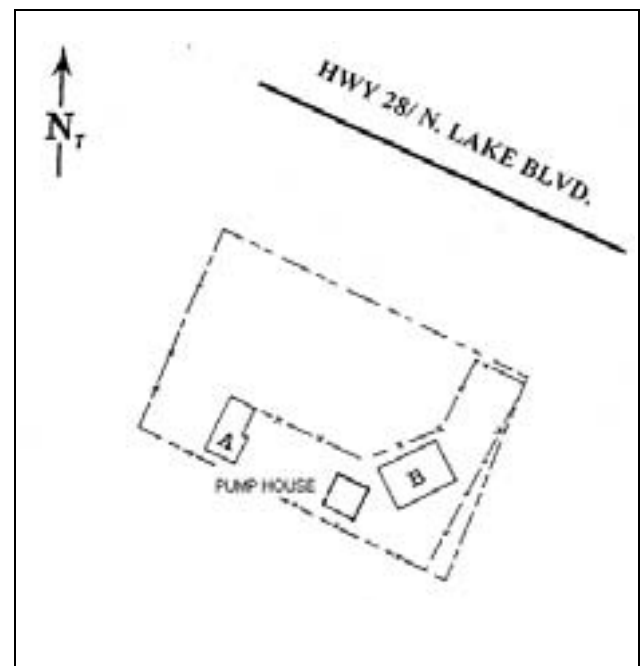
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



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Resource Name or #K55

*Recorded by R. Reno and E. Bennett

Date 11-14-02

☒ Continuation ☐ Update

P3a.

Building B is a 1½-story rectangular plan wood frame house. It has a side gable roof with open eaves and fascia, clad with standing seam metal roofing. Walls are sheathed with wood lap siding. All visible windows are fixed single light. The door is clad with wood V-rustic siding. An open porch with simple railings and cobble foundation extends the width of the main facade

Adjacent to Building B is what appears to be a pump house. It is one-story, rectangular in plan, and of wood frame construction. It has a hip roof with open eaves and exposed rafters, clad with milled wood shingles. Walls are low and sheathed with wood V-rustic siding, as is the door. The window has been boarded over.

State of California – The Resources Agency
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Resource Name or # K55

*Recorded by R. Reno and E. Bennett

Date: 11-14-02

☒ Continuation ☐ Update

P5a: Photo



090-134-030, Building B, View E.
Roll KBB4, Fr.14. 11-14-02, 3:50 PM.



090-134-030, Pump House, View SE.
Roll KBB11, Fr.9. 04-01-03, 11:40 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K56

P1. Other Identifier: Evergreen Lodge

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach + **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo **B.M.**

c. Address 8716 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-142-001

***P3a. Description:** This property is presently part of the North Lake Lodge, which includes the lots to the east and south. Portions of the lots not used for parking support native trees. The building is a two-story rectangular plan wood frame motel. It has a gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are clad with stained log cabin siding. Windows are wood 1/1 double-hung and wood sliding. Four windows have been replaced with metal sliders. Doors are recent X-panel with lights. There appear to have been several additions, but all appear historic. The building has two brick fireplaces, of which the northern one appears recent. The building has a large open porch. Recent lattice has been added to the railings.

***P3b. Resource Attributes:** (HP5) motel

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-142-001, View South.
Roll KBB1, Fr.9. 10-30-02, 10:10 AM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1950

***P7. Owner and Address:**

North Lake Lodge LLC.

P.O. Box 955 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 10-30-02

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 3S

Page 2 of 3

*Resource Name or # K56

B1. Historic Name: Evergreen Lodge

B2. Common Name: North Lake Lodge

B3. Original Use: Motel

B4. Present Use: Motel

*B5. Architectural Style: Minimal Traditional with Rustic details

*B6. Construction History: Assessor's Year Built and Effective Year: 1950. Listed in telephone directories from 1953-1956. Not in the 1952 directory. Shown on the 1956 CSAA map. Original owners were W. R. "Ray" and Jen Evans.

Additions appear to be c.1950s. Recent (c.1990s) modifications include door, windows, fireplace, and porch rails.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Automobile Recreation / Tourism

Area Lake Tahoe

Period of Significance 1950 - 1960

Property Type Motel

Applicable Criteria C

The building does not appear to meet National Register Criterion A at the local level of significance. Although it is associated with an event important in history, the development of automobile recreation and tourism at Lake Tahoe from 1950 to 1960, it is a late and typical example with no strong particular historic associations. It does not appear to meet national Register Criterion B since there is no known association with a significant person. The building appears to be eligible based on National Register Criterion C, California Register Criterion 3, and TRPA Criterion C. The property is a locally exceptional representative of a resort court design that makes use of Mountain Rustic stylistic elements. This building is typical of small resorts built to cater to the automobile trade on highways in the Tahoe Basin following World War II. Although it is similar in scale and function to a post-war strip-motel, its overall style suggests heavy borrowing from the kind of rustic lodge design found in national parks. Small motels with this degree of integrity are rare in the Tahoe Basin and are rapidly disappearing due to development pressure. Historic property boundaries are coincident with the assessor's parcel boundaries. Its period of significance is 1950-1960. Character-defining features include the setting, scale, use of Craftsman elements, windows, siding, and overall design. Noncontributing elements include a door, some windows, fireplace, and porch railings. This building retains a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association since it and its lot appear to be fairly unmodified since the period of significance. Motels with this degree of integrity are also rare due to a strong tendency to modernize exteriors through time. (continued)

B11. Additional Resource Attributes:

*B12. References: Assessor's data

1950-56 Lake Tahoe Telephone Directories, Pacific Telephone and Telegraph

1956 map of Lake Tahoe Resorts, California State Automobile Association

2003 interview with owner.

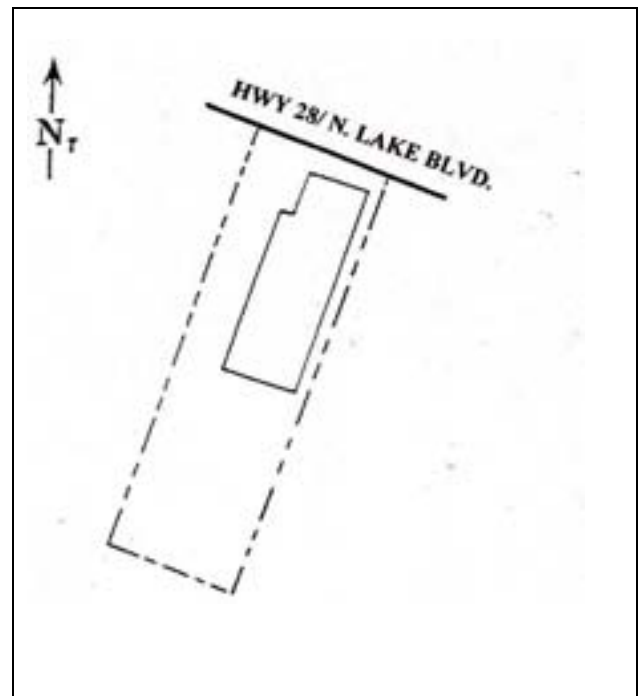
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
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Resource Name or #K56

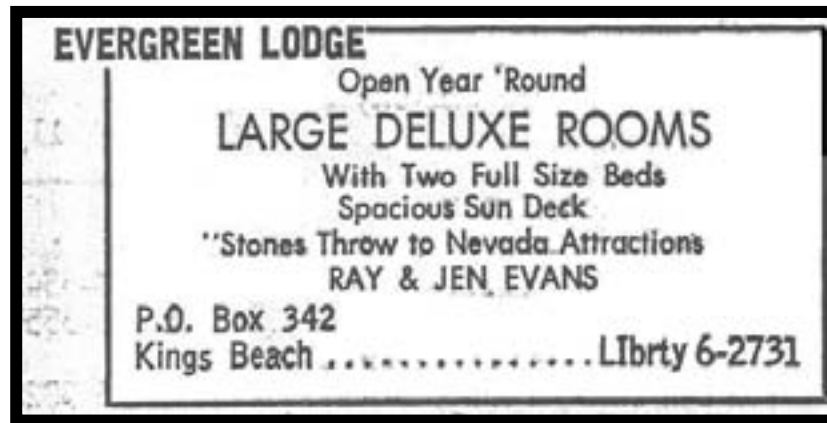
*Recorded by R. Reno and E. Bennett

Date 10-30-02

☒ Continuation ☐ Update

***B10.**

The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined to be a historic resource as defined therein.



1954 advertisement in Lake Tahoe Telephone Directory,
Pacific Telephone and Telegraph (Nevada Historical Society).



K95 Evergreen Lodge Overview,
KBB 15, Fr. 5, 4-13-05, 3:38 PM

State of California — The Resources Agency
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PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K57

P1. Other Identifier: Dew-Mar Cottages

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach + Date 1992 T 16N ; R 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo B.M.

c. Address 8716 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-142-002

*P3a. **Description:** This property includes two buildings with multiple rental units. Although most of the remaining lot is used for parking, native trees survive. It is presently managed as part of the North Lake Lodge, which includes lots adjoining the west and south sides of this property.

Building A is a one-story building with multiple rental units. It has a complex plan due to several additions linking what appear to have been several previously separate buildings. It has a cross-gable roof with open eaves and fascia, clad with composition shingles. The walls are sheathed with stained board and batten siding except for plywood T1-11 on the south end. Windows include wood casement with various numbers of lights, metals sliders and metal 1/1 double-hung. Doors include V-rustic, panel, and flush with two lights. Recent (c. 1990s) doors are X-panel with lights. A porch has been added. (continued)

*P3b. **Resource Attributes:** (HP5) Hotel/motel

*P4. **Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-142-002, Building A, View SW.
Roll KBB1, Fr.8. 10-30-02, 10:05 AM.

*P6. **Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1946

*P7. **Owner and Address:**

North Lake Lodge LLC.

P.O. Box 955 Kings Beach CA. 96143

*P8. **Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. **Date Recorded:** 10-30-02

*P10. **Survey Type:**

Intensive Architectural

*P11. **Report Citation:** J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report

: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K57

B1. Historic Name: Dew-Mar Cottages

B2. Common Name: North Lake Lodge

B3. Original Use: Resort Motel

B4. Present Use: Resort Motel

*B5. Architectural Style: Ranch and Minimal Traditional with Rustic elements

*B6. Construction History: Assessor's Effective Year: 1945; Assessor's Year Built: 1946. If it was built this early, it was likely under a different name since Dew-Mar Cottages first appear in the 1952 telephone directory. In 1952 Dewey S. Ward was the proprietor. In 1956 Bob and Florence Blake were managers with rooms and cottages available.

Building A has been modified before 1957 with many additions linking buildings. C. 1990s modifications include siding, windows, doors, and a porch. Building B has been modified by addition of one storm window (date unknown).

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Building B appears to be nearly unmodified since it was first constructed, thereby retaining its integrity of design, materials, and workmanship. Recent modifications to Building A (siding, windows, doors, and a porch) are more extensive. These modifications have diminished the integrity of design, materials, and workmanship, but are not sufficient to impair integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

2003 interview with owner.

1950-56 Lake Tahoe Telephone Directories, Pacific Telephone and Telegraph

B13. Remarks:

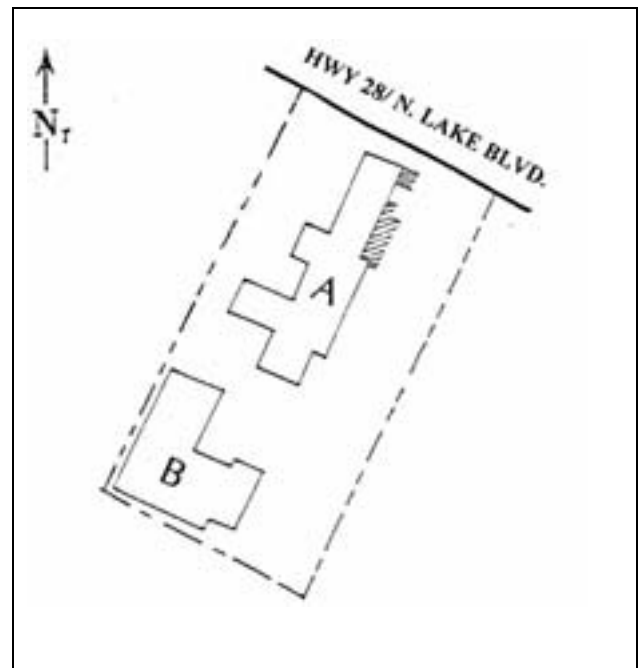
Additions are shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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Primary # _____
HRI # _____
Trinomial _____

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Resource Name or # K57

*Recorded by R. Reno and E. Bennett

Date: 10-30-02

☒ Continuation ☐ Update

P3a.

Building B is a one-story L-plan wood frame building housing three rental units. It has a cross-gable roof with open eaves and exposed rafters, clad with composition shingles. Walls are sheathed with stained board and batten siding. Windows are six light wood casement and wood 1/1, 2/2, and 4/4 double-hung. Doors are panel. One window has been equipped with a metal storm window. There do not appear to be any other recent modifications.

P5a: Photo



090-142-001, Building B, View SW.
Roll KBB7, Fr.17. 01-20-03, 10:50 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K58

P1. Other Identifier: Stevenson's Holliday Inn

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo **B.M.**

c. Address 8742 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-142-023

***P3a. Description:** This property is a complex of buildings including the motel office, four blocks of rental units, a utility building, and a pool with associated covered patio and rooftop deck. Only two blocks of rooms (buildings A and B) are within the project area. These two buildings are on the half of the property adjacent to North Lake Boulevard. The remaining buildings and pool are on the rear half of the property, fronting Brockway Vista Avenue. The buildings include a one-story office building, one-story utility building, two-story block of units in the southeast corner, and a large L-plan one and two-story block of rooms on the southwest side of the property. All of these buildings have been extensively remodeled including all doors and windows. Most of the lot is covered by paved parking but a few native trees have survived.

Building B is a one-story rectangular plan wood frame building. It has a side gable roof with open eaves and gable ends partly covered by a recent fascia. A recent porch supported by simple posts extends along the entire east side of the building. Walls are sheathed with painted wood V-rustic siding. Recent contrasting trusswork trim has been added to the gable end. Windows are aluminum sliders and the doors are recent flush. A small shed has been added to the south end of the building.

***P3b. Resource Attributes:** (HP5) motel; (HP39) pool

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

Building B, View SW.

Roll KBB7, Fr.16. 01-20-03, 10:15 AM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1947 Smith Map

c.1946-1947 field observation

***P7. Owner and Address:**

Patil; Anil C. and Nayna A.

DBA Stevenson's Holliday Inn

P.O. Box 235 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 10-30-02

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☒ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K58

B1. Historic Name: Stevenson's Holliday Inn

B2. Common Name: Stevenson's Holliday Inn

B3. Original Use: Motel

B4. Present Use: Motel

*B5. Architectural Style: Mixed

*B6. Construction History: The property is identified by name on the 1947 Smith map. It appears in telephone directories starting in 1948 advertising "sleeping cabins" with Robert F. Stevenson as proprietor. Assessor's data appear to reflect the more modern strip motel blocks with a Year Built of 1954 and an Effective Year of 1955. All of the buildings on the property reflect modernization of exteriors, including window and door replacements. Building A is so thoroughly modern looking that it is likely built after 1956. If built earlier, all windows, doors, and siding have been replaced and a false mansard roof added. Building B is over 50 years old but has been modified with porch and shed additions, windows, doors and gable trim. Dates of the various additions are not known.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown Date: _____

Original Location: _____

*B8. Related Features: Building A (c.1970s), Pool

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type and does not appear to have any data potential. At Building B, the integrity of design, materials, and workmanship has been compromised by the installation of new windows and doors, gable trim, porch, and shed additions. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

Lake Tahoe Telephone Directories, Pacific Telephone and Telegraph
1947 E.R. Smith Map of Lake Tahoe and Vicinity

B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)

See Page 3
For Sketch Map

State of California – The Resources Agency
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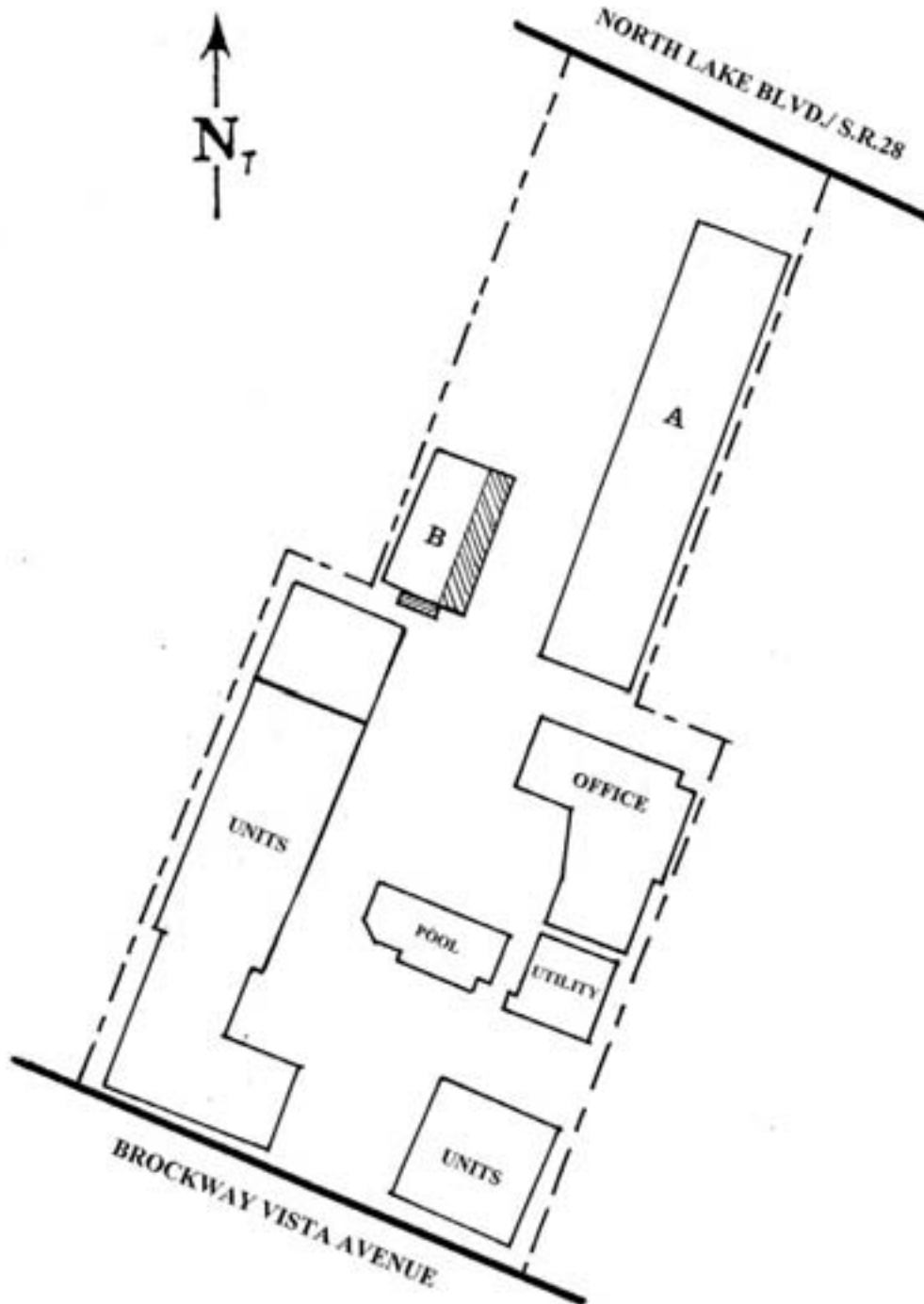
Resource Name or # K58

*Recorded by R. Reno and E. Bennett

Date 10-30-02

☒ Continuation ☐ Update

Sketch Map (addition is shaded)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

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HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K59

P1. Other Identifier: Ta-Tel Motel

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec .19 ; Mt. Diablo **B.M.**

c. Address 8748 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-142-026

***P3a. Description:** This building is a one and two-story L-plan cinder block motel. As originally built, it was one-story with all walls made of cinder blocks with rounded corners. It has a gable roof with open eaves and exposed rafters, clad with composition shingles. Gable ends are clad with stained wood V-rustic siding. Original windows are metal casement, but many have been replaced with aluminum sliders. Doors are flush. The entire second story is a gabled addition, clad with plywood T1-11 siding. It has aluminum sliding windows and patio doors and a cinder block chimney. At the north end of the building is a second addition. This is one-story with a flat roof that doubles as a deck. It has milled shingle siding, aluminum sliders, and peeled log railings. A third addition is a shed-roofed enclosed entry porch. The original porch above entries all along the rear of the building is supported by pillars made of rounded-corner cinder blocks. There is a concrete pool at the northeast corner of the property. Cinderblock and cobble retaining walls and planters have been added. A few native trees survive at the rear of the lot. The sign is recent (c.1990s).

***P3b. Resource Attributes:** (HP5) motel; (HP39) other -- pool

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

090-142-026, View SW.

Roll KBB9, Fr.1. 02-11-03, 9:10 AM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1941 according to owner.

***P7. Owner and Address:**

Bekker; Anthony R. and Kelly R.

DBA TaTel Lodge

P.O. Box 1070 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 02-11-03

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C. D. Zeier. 2006. Historical Resources Evaluation Report

: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or # K59

B1. Historic Name: Unknown

B2. Common Name: Ta-Tel Lodge

B3. Original Use: Motel

B4. Present Use: Motel

*B5. Architectural Style: Moderne with recent Mountain Rustic alterations

*B6. Construction History: Built in 1941 according to owner. Assessor's Effective Year: 1959. The motel is in the 1956 telephone directory, but not in previous editions, under the present name with E. Ed. Spears as proprietor. Modifications include three c.1990s additions, windows, doors, and signage.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown

Date: _____

Original Location: _____

*B8. Related Features: Pool

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the period just before World War II when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Additions and application of new windows, and new doors has caused a loss of integrity of design, materials, and workmanship, and severely compromised integrity of feeling and association. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

2003 interview with owner.

Lake Tahoe Telephone Directories, Pacific Telephone and Telegraph

B13. Remarks:

The proprietor has a 1940s postcard of the property.

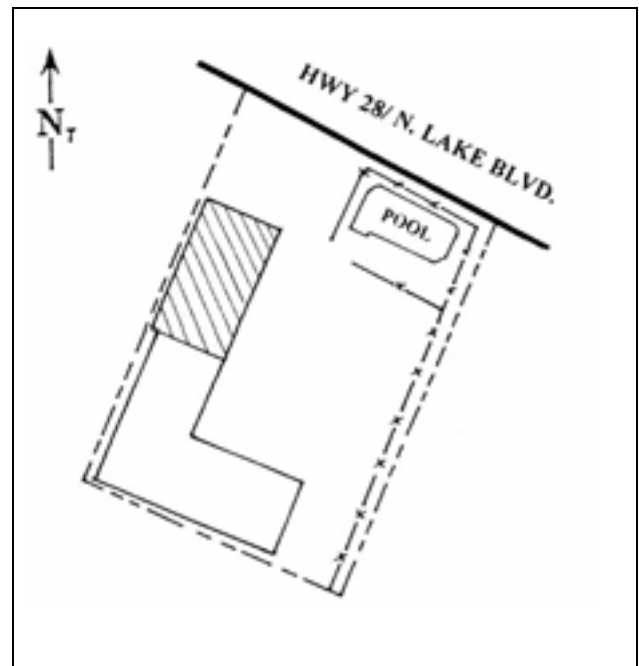
Additions are shaded on the sketch map.

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

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Resource Name or #K59

*Recorded by R. Reno and E. Bennett

Date

2-11-03



Continuation



Update

P5a: Photos



090-142-026, West wing left, Pool right. View SW.
Roll KBB9, Fr. 2. 02-11-03, 9:12 AM.



090-142-026, SE wing. View SW.
Roll KBB9, Fr.3. 02-11-03, 9:15 AM.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3 *Resource Name or #: K60

P1. Other Identifier: Sierra TV and Launderette

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach

Date 1992 T 16N ; R 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo **B.M.**

c. Address 8762 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-142-007

***P3a. Description:** This property contains a commercial building and an apartment block. The lot is paved. One native tree survives. Building A is a one-story irregular-plan wood frame commercial building. It has a cross-gable roof with open eaves and exposed rafters, clad with steel and aluminum panels. Walls on the front (north) side of the building are sheathed with asbestos cement shingles. Board-and-batten siding is used on the gable end and on the lower portion of the wall. The west end of the building is sheathed in wood lap siding. The south side of the building is sheathed with wood V-rustic siding. Original windows are fixed with eight lights and wood 1/1 double-hung. Recent (c.1990s) windows include fixed and aluminum sliders. Doors are recent flush and aluminum-framed glass. A recent (c.1990s) cinder block addition with flat roof is at the rear. A gabled hood with exposed truss protects the entry.

Building B is a two-story rectangular plan wood frame apartment building. It has a side-gable roof with exposed rafters and open eaves, clad with recent aluminum panels. The building has a full-length covered porch supported by simple posts with vertical board railing. Walls are clad with painted wood lap and V-rustic siding. Windows are wood 1/1 double-hung, some of which are covered with metal storm windows or temporary plastic sheets.

***P3b. Resource Attributes:** (HP3) multiple family property; (HP6) 1-3 story commercial building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-142-007 Building A, View SE.
Roll KBB4, Fr.18. 11-14-02, 3:57 PM.

***P6. Date Constructed/Age and Sources:** ☒ Historic
☐ Prehistoric ☐ Both

c. late 1940s based on construction details.

***P7. Owner and Address:**

Sable; Arthur J. Sr. and Mischel
DBA Waters of Tahoe
P.O. Box 1344 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett
Geoarch Sciences, Inc.
P.O. Box 734
Minden, NV 89423

***P9. Date Recorded:** 11-14-02

***P10. Survey Type:**
Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report: Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

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*Resource Name or # K60

B1. Historic Name: Unknown

B2. Common Name: Sierra TV and Launderette

B3. Original Use: Unknown

B4. Present Use: Store, Laundromat, and Apartments

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: No dates are in the assessor's database. Based on construction details and degree of weathering it appears that the buildings date to c.1940s

Building A has been modified (c.1990s) with an addition, windows, doors, siding, and roofing material.

Building B does not appear to have been modified except for roofing material.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. An addition, along with application of new siding, new windows, and new doors to Building A has caused a loss of integrity of design, materials, and workmanship. Building B retains its integrity of design, materials, and workmanship since it appears to be nearly unmodified since original construction. It is a minor and undistinguished, example of this style as applied to a basic apartment building. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: None available

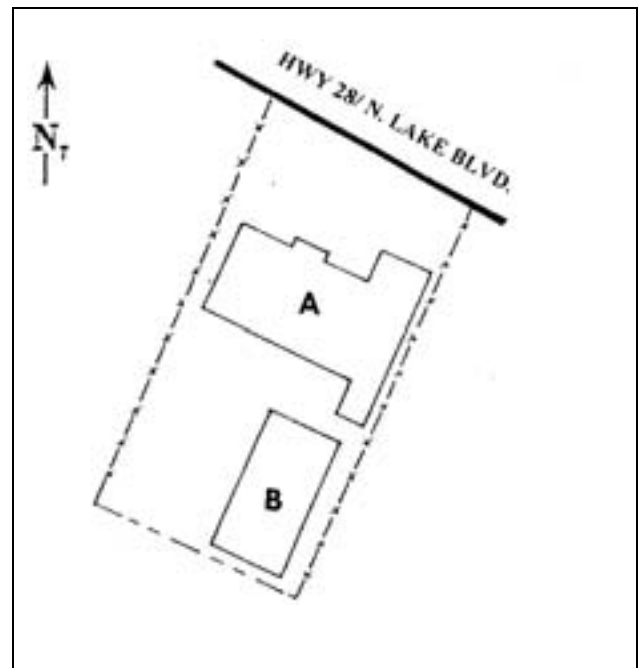
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

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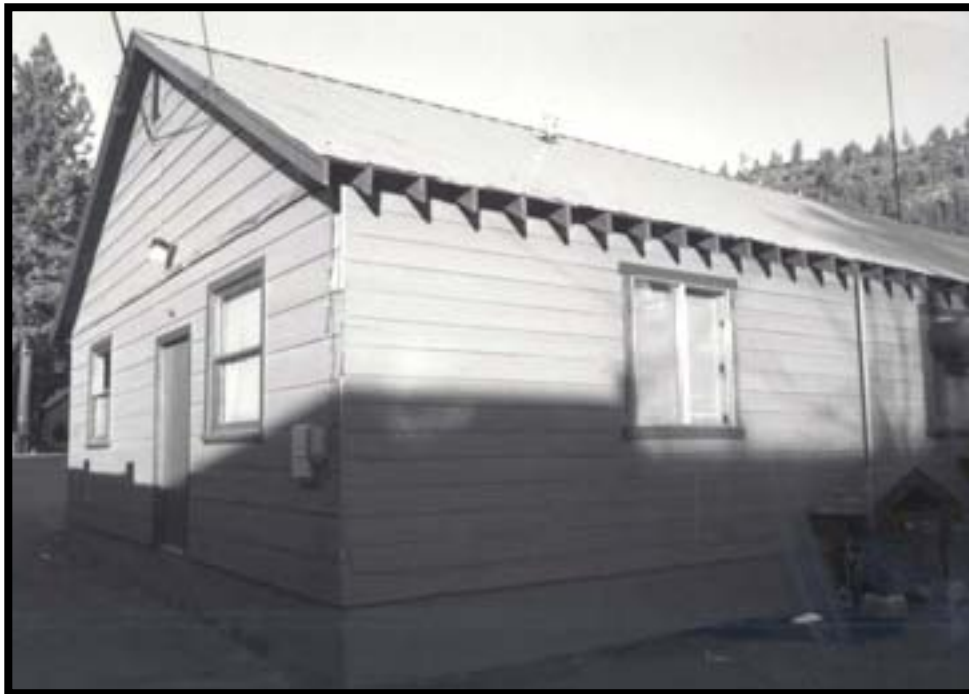
Resource Name or #K60

*Recorded by R. Reno and E. Bennett

Date 11-14-02

☒ Continuation ☐ Update

***P4a.**



090-142-007 Rear Building A, View NE.
Roll KBB4, Fr.17. 11-14-02, 3:56 PM.



090-142-007 Building B, View SE.
Roll KBB4, Fr.16. 11-14-02, 3:55 PM.

State of California — The Resources Agency
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PRIMARY RECORD

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Trinomial _____

NRHP Status Code _____

Other Listings _____

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Date _____

Page 1 of 2

*Resource Name or #: K61

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted
and

*a. County Placer

*b. USGS 7.5' Quad Kings Beach Date 1992 T 16N ; R 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo B.M.

c. Address 8788 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-221-021 (recently split from APN 090-221-020)

*P3a. Description: This building is a one-story cinder block two-bay rectangular garage. It has a flat roof with parapet. Walls are unsheathed. Windows are metal 12 light combination fixed and casement. Doors are wood overhead. The entire lot is paved.

*P3b. Resource Attributes: (HP6) 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
090-221-021, View SW.
Roll KBB1, Fr.3. 10-30-02, 9:42 AM.

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1956.

*P7. Owner and Address:

Johnson; Bradley W. Trustee

P.O. Box 1026 Kings Beach CA. 96143

*P8. Recorded by: R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

*P9. Date Recorded: 10-30-02

*P10. Survey Type:

Intensive Architectural

*P11. Report Citation: J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:
Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc., Minden.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

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*Resource Name or # K61

B1. Historic Name: Unknown

B2. Common Name: Johnson Bldg.

B3. Original Use: Garage

B4. Present Use: Garage

*B5. Architectural Style: Contemporary

*B6. Construction History: Assessor's Year Built: 1956. It was originally built as part of the service station complex on APN 090-221-220 according to the owner.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____

Original Location: _____

*B8. Related Features: Service Station on adjacent property

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme
Period of Significance

Property Type

Area

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. This building is in excellent condition, but its integrity of setting, feeling, and association is severely degraded by the fact that it was constructed as an ancillary building for the adjacent service station, which due to fire and partial dismantling no longer appears significant. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data
2002 interview with Bradley Johnson

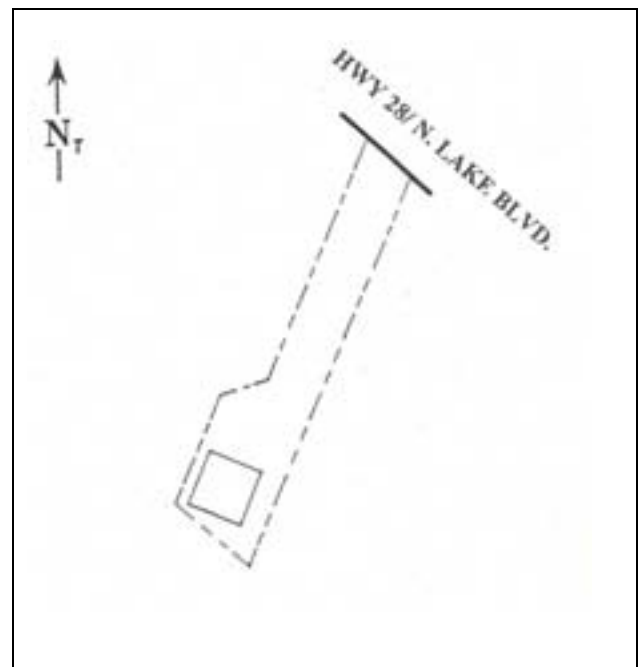
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

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State of California — The Resources Agency
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PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2 *Resource Name or #: K62

P1. Other Identifier: Sierra Pacific Coffee Company

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec. 19 ; Mt. Diablo **B.M.**

c. Address 8790 N. Lake Blvd.

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-221-018

***P3a. Description:** This building is a one-story rectangular commercial structure made of rounded-corner cinder block. It has a gable roof with open eaves and fascia clad with locking composition shingles over an older layer of standard tab composition shingles. Walls are unsheathed block except for the gable ends, which are of painted wood V-rustic siding. Windows are steel 2 and 3 light casement. The door is panel with lights. A metal exterior chimney has been added. The entire lot is paved.

***P3b. Resource Attributes:** (HP6) 1-3 story commercial building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:

090-221-018, View SE.

Roll KBB4, Fr.19. 11-14-02, 3:59 PM.

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Early 1950s based on style and materials.

***P7. Owner and Address:**

Johnson; Bradley W. TRS.

P.O. Box 1026 Kings Beach CA. 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 11-14-03

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2006. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

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*Resource Name or # K62

B1. Historic Name: Unknown

B2. Common Name: Sierra Pacific Coffee Company

B3. Original Use: Unknown

B4. Present Use: Commercial

*B5. Architectural Style: Vernacular Commercial

*B6. Construction History: Assessor's dates were not available, but the use of rounded block and metal casement windows suggests construction before the mid-1950s, which matches the 1956 construction dates for two adjacent cinder block buildings. Aside from doors, chimney, and change of shingle styles (unknown dates), the building appears to be unmodified.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown

Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme

Area

Period of Significance

Property Type

Applicable Criteria None

The resource is associated with the post-World War II period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type with diminished integrity due to alterations and additions. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: None available.

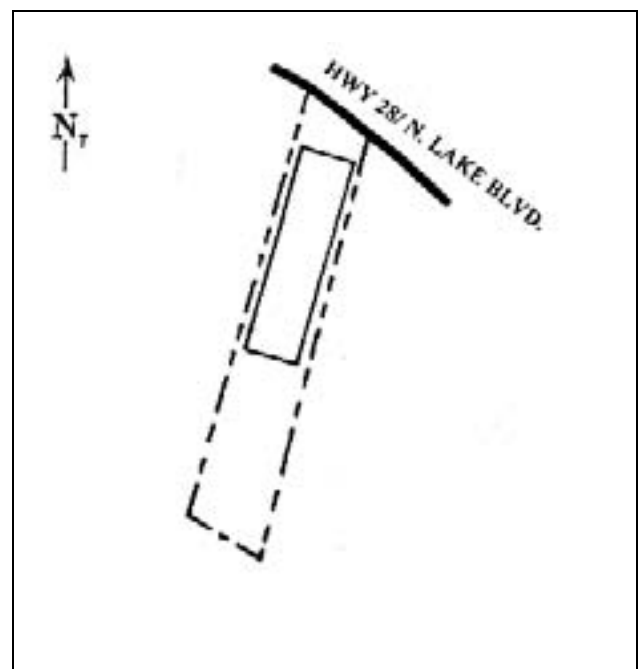
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89702

*Date of Evaluation: September 2005

(This space reserved for official comments.)



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DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI# _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 6 *Resource Name or #: K63

P1. Other Identifier: Brockway Pines Cottages/Motel

***P2. Location:** ☐ Not for Publication ☒ Unrestricted
and

***a. County** Placer

***b. USGS 7.5' Quad** Kings Beach **Date** 1992 **T** 16N ; **R** 18E ; NW ¼ of SE ¼ of Sec .19 ; Mt. Diablo **B.M.**

c. Address 8796 Brockway Vista Avenue

City Kings Beach, CA

Zip 96143

d. UTM:

Zone

;

mE/

mN

e. Other Locational Data: APN 090-221-016

***P3a. Description:**

The Brockway Pines Motel was an auto court consisting of at least 7 small rustic cabins arranged around a central parking area.

The complex is now a combination of retail stores and residences. (continued)

***P3b. Resource Attributes:** HP5 (motel), HP6 (1-story commercial)

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (isolates, etc.)



P5b. Description of Photo:
Overview from SR 28, facing SW.
KBB1 Frame 2

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric

☐ Both

Assessor's Year Built: 1926

***P7. Owner and Address:**

James Gardiner

P.O. Box 9

Kings Beach, CA 96143

***P8. Recorded by:** R. Reno, E. Bennett

Geoarch Sciences, Inc.

P.O. Box 734

Minden, NV 89423

***P9. Date Recorded:** 07-15-03

***P10. Survey Type:**

Intensive Architectural

***P11. Report Citation:** J.W. Snyder, R. Reno, and C.D. Zeier. 2005. Historical Resources Evaluation Report:

Kings Beach Commercial Core Improvement Project. P.S. Preservation Services and Geoarch Sciences, Inc. Minden.

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code 6Z

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*Resource Name or # K63

B1. Historic Name: Brockway Pines Cottages/Motel

B2. Common Name: Brockway Pines

B3. Original Use: Residence - Motel (auto court)

B4. Present Use: Residence, Retail Stores

*B5. Architectural Style: Minimal Traditional with Rustic elements

*B6. Construction History: Assessor's Year Built: Ranges from 1926-1962. Buildings D and E are shown on the 1936 Hwy map. "Brockway Pines Cottages" Mulford K. Miles, proprietor is listed in the 1946 phone book. The business under this name continues to be advertised in phone books for 1952 through 1955 (later years not checked). This suggests the property evolved from two individual residences to a cottage complex. Evolution continued with extensive remodels (c.1990s) of all buildings except F. The Brockway Pines Motel sign is in very poor condition, indicating many years since the place operated as a motel.

*B7. Moved? ☐ No ☐ Yes ☒ Unknown Date: _____

Original Location: _____

*B8. Related Features: Store (Building G, c.1990s), Sign

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme
Period of Significance

Property Type

Area

Applicable Criteria None

The resource is associated with the interwar period when the Lake Tahoe basin was becoming popular as a weekend retreat and vacation destination. The resource has no known association with persons or events that made a significant contribution to local, state, or national history and does not appear to be eligible for listing in the National Register of Historic Places under criteria A or B. The resource is an unremarkable example of its type. Integrity of all but one of the buildings severely compromised by major new additions, porches, siding, windows, and doors. Thus, the resource does not appear to be eligible under Criterion C. The resource was evaluated in accordance with Section 15064.5(a)(2)-(3) of the CEQA Guidelines, using criteria outlined in Section 5024.1 of the California Public Resources Code, and determined not to be a historical resource for purposes of CEQA. Finally, the resource was evaluated in accordance with Section 29 of the Tahoe Regional Planning Agency's Code of Ordinances, and determined not to be a historic resource as defined therein.

B11. Additional Resource Attributes:

*B12. References: Assessor's data

1936 Hwy construction map

1946 Lake Tahoe Telephone Directory, Pacific Telephone & Telegraph Co.

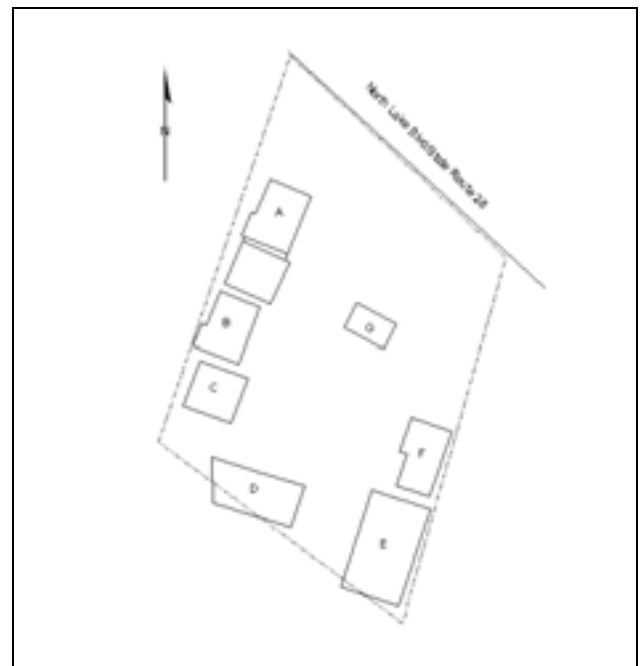
B13. Remarks:

*B14. Evaluator: John W. Snyder

P.S. Preservation Services, P. O. Box 2650, Carson City, NV 89502

*Date of Evaluation: September 2005

(This space reserved for official comments.)



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DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
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Resource Name or # K63

*Recorded by R. Reno and E. Bennett

Date 7/15/2003

☒ Continuation ☐ Update

P3a.

Building A is a one-story wood frame house made by linking two smaller rectangular-plan houses with a small gabled addition. The north half of the building is clad with natural cedar log cabin siding that retains its bark. Windows are paired 6-light casement. Doors are made of vertical wood planks. A low open porch runs along the principal façade. The roof is side-gabled, clad with milled wood shingles and pierced by a metal chimney near the ridgeline. Eaves were originally open, with exposed rafter tails. A fascia and a rain gutter have been added to the front only.

The south half of the building is clad with plywood siding and battens (these continue onto the addition). Windows are metal sliders and the doors are flush wood. It has a side-gabled roof clad with milled wood shingles. Rafter tails are concealed by a fascia.

Building B is a one-story wood frame house matching the description for the north half of Building A except that the windows have been replaced with metal sliders.

Building C is a one-story wood frame house matching the description for the south half of Building A except that the door is 6-panel. It has an open concrete porch on the east side.

Building D is a one-story wood frame house with plywood and batten siding. Windows include wood double-hung with lambs-tongue drops and metal sliders. Doors are plank and glass. The jerkin-head roof is clad with milled wood shingles. Rafter tails are covered by fascia. The external stone rubble chimney penetrates one of the jerkin-heads. Open decks are outside both the front and rear entrances. The western third of the building appears to be an addition. This and the other jerkin-head building (E) appear to match the buildings shown on the 1936 Highway map and are likely the original buildings on the property.

Building E is a one-story rectangular wood frame house with a two-story addition. The original house is distinguished by its jerkin-head roof with enclosed eaves and composition shingles. The addition has a gable roof with fascia clad with wood shake shingles. It has a second-story open porch with X-braced rails. The entire building is clad with plywood with battens and composition lap siding. Windows are metal sliders. Doors are of varied design including wood panel, some with glazing.

Building F is a one-story rectangular wood frame house with milled log-cabin siding. It has a side-gable roof with fascia, clad with milled wood. A stovepipe penetrates the roof near the ridgeline. Windows are wood 1/1 double-hung with lambs-tongue drops and paired four light wood casement. The door is recent flush. The open front porch has simple posts and railings.

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Brockway Pines Motel, View to SW, KBB1 Frame 1



Building B (Front), View NW, KBB13, Fr. 24,

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Building C (Front), View W, KBB 13, Fr. 23



Building D, View NW, KBB 13, Fr. 21

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☒ Continuation ☐ Update



Building E, View NE, KBB 13, Fr. 35



Building F, View SW, KBB 13, Fr. 32